

Recreation • Open Space

Data, Inventory & Analysis
Approved August 12, 1991 • Amended June 8, 2009

Element

SUPPORT DOCUMENT

RECREATION & OPEN SPACE ELEMENT

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RECREATION & OPEN SPACE SUPPORT DOCUMENT



“A park is a work of art, designed to produce certain effects upon the minds of men. There should be nothing in it, absolutely nothing – not a foot of surface nor a spear of grass – which does not represent study, design, a sagacious consideration and application of known laws of cause & effect with reference to that end.” - Frederick Law Olmsted

Let it not be for present delight, nor for present use alone; let it be such work as our descendents will thank us for, and let us think...that a time is to come when...men will say ‘See! This our fathers did for us’.” - Frederick Law Olmsted

1. INTRODUCTION

The above words, written more than a century ago, reflect the philosophical roots of the City Beautiful Movement, a period that significantly influenced town planners, architects, and park designers alike. The City Beautiful Movement emphasized a reverence for natural beauty and its close relationship with the built environment. It spoke to yearnings for an ideal community and to the potential for good in all citizens.

In the late 1890's Orlando's true character began to evolve. Around that same time, the City inaugurated a plan for the systematic beautification of its roadways, lakeshores and open spaces. This program continued for a number of years and in 1908, the City of Orlando was officially designated "the City Beautiful." The City Beautiful concept was implemented in numerous ways in Orlando, most notably by the planting of many hundreds of hardwood trees along the City's streets. Today, the mature hardwood canopy is one of the most distinctive features of the City's traditional neighborhoods. The City also began a park program which emphasized the design and development of quality park lands within its newly developing neighborhoods. The 1926 City Plan called for the creation of a Great Park concept with parks and green spaces being connected by "pleasure drives".

By 1939, these and other beautification programs had proven so effective that the Chamber of Commerce sponsored a scenic road route through the City of Orlando which consisted of 23 miles of brick, tree-lined streets showcasing numerous neighborhoods and 18 of the more aesthetically pleasing lakeside greenspaces. These amenities are generally considered Orlando's most valuable community assets and have been systematically expanded through the development of Orlando's new urbanism communities such as Baldwin Park and Lake Nona.



Lake Eola Park, Circa 1933

During the late 1990's the City of Orlando commenced an ambitious park building program called the "City-Beautiful-The Legacy Continues". By 2006, this wide-reaching park development program had added approximately 250 acres of community and neighborhood park land, created such notable parks as Blue Jacket Park and Trotter's Park and transformed thirty-five (35) City parks through extensive upgrades including new playing fields, landscaping and lighting. As the first decade of the 21st century draws to a close, the City is entering a new era of environmental sustainability and "green" lifestyles where the development of park and open space has become an integral part of the City's strategic plan.

1.A. PURPOSE

The purpose of the City of Orlando's Recreation and Open Space Element is to implement the community's vision for a more beautiful and healthy urban environment. Fresh air, sunlight, physical exercise and the aesthetic value of open space should be easily accessible to all citizens. As planning research has shown, recreational opportunities are key components of a community's long term "livability" and "sustainability". The Recreation Elements' goals, objectives, and policies, first established under Rule 9J-5.014 FAC, are carefully designed to help guide the provision of the City's recreational amenities in a financially responsible manner.

The Recreation and Open Space Element contains a detailed inventory of available and potential park land in the City of Orlando. First created in 1991, the element has undergone a number of revisions. In 2000, the Recreation and Open Space Element was extensively updated and the cultural arts component was removed to create a separate element. Some references to the cultural arts, in particular the City's Venues, have been retained since recreation and cultural amenities are often intertwined.

The current update integrates the 2007 Evaluation and Appraisal Report (EAR) recommendations as well as updates the park inventory and level of service analysis based on the 2006 to 2030 Growth Projections Report. The Element has also been revised to reflect the updated Wekiva Overlay District and new health-related planning efforts such as Active Living By Design. Other new policies include the Downtown Open Space Plan and a Strategic Parks and Recreation Facilities Plan. The City of Orlando's progressive green measures to conserve, preserve and protect our environment and natural resources have also been integrated into the updated Recreation and Open Space Element.

1.B. FINDINGS – RECREATION

- The City of Orlando has been and will remain the principle provider of park and recreational amenities in the Orlando area. Orlando's "livability" is directly related to the type and quality of recreation, cultural and open space available to its citizens. The City of Orlando is dedicated to the provision of adequate recreational opportunities to all persons residing within its jurisdiction.
- From a technical standpoint, the City of Orlando has an adequate amount of park land. However, distribution of this acreage is uneven. The Great Park system envisioned by our ancestors needs to be expanded and enhanced. Additional park land acquisition and updating of amenities will be necessary in order to provide all of Orlando's citizens access to conveniently located park recreation facilities.
- The Major Sports, Performing Arts, and Special Facilities operated by the City of Orlando provide a valuable service to the citizens of Orlando. Facilities such as the Orlando Citrus

Bowl, Tinker Field, and the new community venues will continue to help define the character and identity of the Orlando as an emerging international city.

- To serve the population in Orlando by 2030, the City should concentrate its resources on providing more land-intensive recreational amenities such as ballfields and soccer fields which are typically not provided by the private sector.
- Additional neighborhood park facilities are needed in various locations throughout the City. The City of Orlando will continue to develop community and neighborhood parks in order to maintain and enhance its adopted level of service standards. Further, the City will target areas which are currently lacking neighborhood and community park facilities.
- Bikeways/pathways and utility open space areas function to link neighborhoods and parks into a cohesive, meaningful system, while also strengthening Orlando's unique identity. The City of Orlando will continue to acquire, maintain, and enhance these areas, with an emphasis on maintaining lakeshores as visual amenities that all citizens can enjoy.
- The maintenance of the natural environment is essential to the community's livability and for the proper functioning of the area's ecosystem. Environmentally sensitive open space areas within the boundaries of the City of Orlando will be protected through the goals, objectives and policies of the Growth Management Plan and accompanying implementation devices. The City of Orlando will strive to balance economic development, livability, and environmental protection and the very real need for open space lands. The development of a Greenway Trails Plan and a Strategic Parks Plan would help coordinate limited resources.
- The City of Orlando in conjunction with Orange County should continue to pursue opportunities for the joint use of resources as a solution to satisfying unmet demands for existing and future park land. A coordinated program emphasizing shared responsibilities for the development and operation of community-scale parks using the best available resources of each government would effectively address service demand concerns and enhance recreational opportunities.
- Due to the increased residential and mixed use development and redevelopment occurring in the Downtown core area, the City is proposing to develop an open space plan within this rapidly growing area. It is estimated that Downtown Orlando's resident population may grow by as many as 8,000 to 10,000 people in the next 25 years. The Downtown open space plan is needed to account for the impact of the venues, growth in downtown residential development, and the potential for public space that may be incorporated into the Bridge District, located underneath I-4.
- Since the GMP was adopted in 1991, the City has experienced population growth in areas that were previously assumed to be "non-residential". This has recently occurred in the Downtown core, and based on recent development approvals, may continue near the

attractions along International Drive. In order to ensure that the City is meeting level of service standards for these previously unanticipated residents, the City's analysis has been revised to include these people in designated neighborhood park service areas.

- New residents of the City of Orlando deserve to have access to the same types of recreational and cultural opportunities available to long-term residents. The City of Orlando will actively pursue alternative funding mechanisms in order to provide an adequate level of service for park facilities in areas experiencing new residential development.

2. PARK LAND AND OPEN SPACE INVENTORY

2.A. PUBLIC FACILITIES INVENTORY

The City of Orlando maintains primary responsibility for the development, maintenance, and programming of public recreation facilities in the Orlando area. The City is committed to providing both "close to home" park and recreation facilities for neighborhood residents as well as the larger activity-based facilities which serve the entire community.

Factors to consider when providing recreational, open space cultural services are:

- 1) ***The amenities offered at each location.*** Amenities include recreation centers, playgrounds, basketball courts, and ballfields. An inventory of all existing publicly provided recreation and open space sites and a summary of amenities at each location are provided in Figure R-2;
- 2) ***The users of each facility.*** The population which is served by a particular site is influenced by factors such as age, local culture and interests. The Family, Parks and Recreation Department is the lead entity in dealing with recreational programming and amenity planning;
- 3) ***The condition of each park site.*** The City of Orlando is committed to providing safe, environmentally friendly, usable park facilities. Identification of repair and replacement issues are handled primarily under the auspices of the Public Works Department and the Family, Parks and Recreation Department. Funding for repair and replacement of amenities are addressed through the goals, objectives, and policies section of this Element and the Capital Improvement Element; and,
- 4) ***The location and the accessibility of each site.*** Accessibility to parks and other recreation opportunities in Orlando varies considerably among population groups. Lower income groups, the very young and the elderly tend to have limited mobility and typically have limited access to recreational opportunities. Orlando's Parks have been designed so that all persons of all abilities and ages may access the park in an independent and safe manner.

As of June 2008, the Orlando park system encompasses 3,067.76 acres of developed park land and approximately 861.27 acres of undeveloped park land. This acreage has been broken down into the following hierarchy of park facilities in order to better determine the level of recreation and open space opportunities available. A description of each park-type is also included.



Rose Garden at Leu Gardens, Spring 2008

2.B. MAJOR SPORTS, PERFORMING ARTS, AND SPECIAL FACILITIES

1,344.80 acres

6 locations

Size	The average size of existing facilities of this type within the City of Orlando is 224.13 acres.
Access	Thirty to forty-five minute drive time from the City center, in proximity to major transportation arteries.
Amenities	For large natural preservation areas, typical amenities include may include natural landscapes, large picnic areas, nature trails, bike paths, and camping facilities. Active facilities may consist of a single specific purpose use serving the entire metropolitan population. These facilities include performing arts centers, rehearsal facilities, arenas, and stadiums.
Purpose	Designed for specialized interest or diversified use by large numbers of people and serve several communities, the entire City, County or metropolitan area.
Need	The need for Major Sports, Performing Arts, and Special Facilities is determined by availability of resources, market analysis and the support of the private sector through public-private ventures. However, efforts will be made to ensure that these facilities are within a 30 to 45 minute drive time of the City center, in proximity to major transportation arteries.
Example	The 70,000+ seat Orlando Citrus Bowl, which hosts several college bowl games each year, in an example of a Major Sports Facility. Another example of a Special Facility is the Orlando Wetlands Park. Located 30 minutes east of the City of Orlando via State Road 50 near Christmas, Florida, this 1,280 acre wilderness park features the pristine landscape of undeveloped Florida. The Orlando Wetlands Park also serves as the world's first large scale wetlands treatment system.

Reclaimed water is moved through the wetlands, naturally cleaned and then discharged into the St Johns River.

Orlando's New Venues

While Central Florida has long been an international tourist destination, we are one of the few cities in the southeast that has not invested in modern, competitive arts, entertainment and sports venues. In order to address this deficit, in 2006, a Downtown Orlando Community Venues Master Plan was developed. The multi-faceted plan sets out the conceptual design and development of three world class venues: A new Events Center (arena), Orlando Performing Arts Center (OPAC) and substantial improvements to the Citrus Bowl (football stadium). The existing Orlando Arena and Bob Carr Performing Arts Center will be integrated into Orlando's Creative Village, a high tech mixed use development which combines digital media businesses, retail and multi-family residential. Tinker Field and McCracken Field, both historic athletic facilities adjacent to the Citrus Bowl, will be positively impacted by the stadium's redevelopment.

The new Orlando Performing Arts Center will be built in the southern part of downtown at the corner of Orange Avenue and South Street across from Orlando City Hall. Land planning for this new site is underway. Site preparation for the new Events Center has already begun. It will be built at the southwest corner of Church Street and Hughey Avenue in historic Parramore. The third venue, the Citrus Bowl, a sports landmark in Orlando, will be renovated at its current location just south of Lake Lorna Doone. It is anticipated that these three venues will have a long term positive economic and social impact for the City and the Central Florida region. More information about these important new projects can be found in the Future Land Use and Cultural Arts Elements.

2.C. COMMUNITY PARKS

1,140.05 acres

46 locations

Size	Usually a combination of active and passive facilities ranging in size from 5 to 25 acres, utilizing or complementing playground facilities and service areas provided by public schools wherever possible. The average size of community parks in Orlando is 24.78 acres.
Access	Drive-to, bicycle or walk-to facility.
Amenities	Typical facilities may include lighted softball or little league fields, soccer fields, lighted tennis courts, swimming pool, play apparatus areas, open space play areas, parking and a community center suitable for meetings, receptions, indoor sports, arts and crafts. An adult or senior citizen area should contain game tables, benches, horse shoes, shuffleboard, and preferably a nature area. It should be

separated from the ball-fields and play areas to avoid conflict of activities. Additional facilities may include a gymnasium, a running track and/or a day camp center. Landscaped or natural acreage of a passive nature is recommended at a ratio of one acre for passive use to two acres for active use to maintain a "park-like" atmosphere.

- Purpose** A facility designed primarily to provide programmed or scheduled recreation needs not met by smaller parks. These are essentially family recreation centers with programs and facilities for all age groups. They may also provide available facilities for specialized use from a more widespread population base.
- Need** Community Parks are generally needed within three miles of residents depending on density and age of the general population, and other park facilities within the service area.
- Example** The best example of this type of facility is the NorthLake Park Community School/YMCA at Lake Nona which is a combination elementary school and full service YMCA set within a City park. Completed in 1999, the facility is located in southeast Orlando and consists of approximately 21.6 acres. Amenities available at this site include a gymnasium, swimming pool, a little league baseball field, soccer/multipurpose fields, 2 tennis courts, 2 basketball courts, 1 playground, an open play area, and ample passive open space. The Northlake Park example is important not only due to its exemplary recreational opportunities but also because it involves a partnership among the City of Orlando, Orange County School Board, YMCA, Orlando Regional Healthcare Systems, and the developer-Lake Nona.

2.D. NEIGHBORHOOD PARKS

582.91 acres

168 locations

- Size** Active or passive parks, ranging in size from 3 to 10 acres, which utilize or complement playground facilities and service areas provided by public schools, wherever possible. The average size of neighborhood parks within the City of Orlando is 3.47 acres.
- Access** Walk-to, or bike-to facility.
- Amenities** May include apparatus for children, softball or little league field(s), open space play area, multi-purpose or paved play courts, adult or senior citizen facilities such as game tables, horseshoes, shuffleboard, benches, walks and natural or decorative landscaping. Passive open space around lakes may also be a prominent feature.

- Purpose** Provide a "walk-to" facility for most of a service area encompassing approximately 5,000 residents, depending on density and location, with some parking capacity, on or off street, as required to meet use. Usually provides a combination of active and passive uses for all ages.
- Need** Neighborhood Parks are usually needed within 1/2 mile of residents, depending on density and age of the general population, and other park facilities within the service area.
- Example** A good example of this type of park facility is the Princeton Park Playground. This park consists of 3.27 acres, with amenities such as a swimming pool, 2 tennis courts, 2 basketball courts, and a playground. It is adjacent to an elementary school, and it serves the College Park neighborhood.

Princeton Park Playground



2.E. UNDEVELOPED PARK LAND

861.27 acres
18 locations

- Definition** Undeveloped park land is dedicated for future park development, or dedicated for greenspace and/ or for wildlife preservation areas.
- Size** Ranges from less than one acre to several hundred acres.
- Amenities** None, except for the visual quality of open space.
- Purpose** To provide land designated to meet future park requirements, including open space areas designated as greenbelt and/or wildlife habitat preserves.

Need Wherever utility use requiring green space exists and to provide adequate available space for projected park area requirements.

Example The OUC Wilderness Park is one of the largest undeveloped parks in the Orlando park inventory. This park consists of 250 acres, located approximately 8 miles south of the intersection of Colonial Drive (State Road 50) and Alafaya Trail near the Stanton Energy Center. Serving a two-fold function as a manmade wetland designed to assist in tertiary wastewater treatment and as a wilderness park, the site offers visitors the chance to enjoy the natural Florida environment. The dual functioning park has received numerous awards from regulatory agencies and professional societies as a means to lessen man’s impact on the environment and for restoring and protecting natural resources.

These parks have been incorporated into the overall inventory, as displayed on Figure R-2. Figures R-3A through R-3B, R-4A through R-4E, R-5A through R-5E, and R-6A through R-6E depict the physical locations for all of the parks in the inventory.

2.F. ORANGE COUNTY PARKS & ORANGE COUNTY PUBLIC SCHOOLS FACILITIES

Orange County has several parks which, due to close proximity to the City of Orlando, serve City residents. These parks include the Marks Street Senior Center and Orange County History Museum located in Downtown Orlando, Barber Park, Barnett Park, Fort Gatlin, Lake Cane/Lake Marsha Park, and Orlo Vista Park.

The City of Orlando also has established agreements with the Orange County Public Schools, primarily for the joint use of facilities at the Community Park and Neighborhood Park level. These agreements are as follows:

Northwest Orlando: Rolling Hills Elementary and Signal Hill Park (expires in 2021) and the Rock Lake Elementary/Rock Lake Park (expires in 2062).

Northeast Orlando: Azalea Elementary/Azalea Little League Agreement (currently being renewed), Audubon Park Elementary/ North Kiwanis Little League (currently being renewed); Howard Middle School/City (expires in 2008), Glenridge Middle School/Blue Jacket Park (no expiry date).

Southwest Orlando: Memorial Middle School/Clear Lake Park joint use agreement (currently being renewed), Jones High School/Orlando Sports Campus (currently being renewed), Grand Avenue Elementary/ Grand Avenue School (expires in 2023); and Ivey Lane Elementary/City of Orlando (no expiry date).

Southeast Orlando: McCoy Elementary/MCoy Park (expires in 2011), Lake Como Elementary/Lake Como Ballfields (expires in 2021), Boone High School/Wadeview Complex

(expires in 2020), Blankner School/Wadeview Park Complex (expires in 2027), and Northlake Park Community School/YMCA/Orlando (expires in 2021).

The Orange County School Board also allows individual school principals to decide whether their school facility may be used by the general public for recreational purposes. Cooperation among individual Orange County Public Schools, and the City's Public Works and the Families, Parks and Recreation Departments is essential in establishing and maintaining shared facilities. Moreover, in the future, additional efforts should be made to co-locate school and park facilities to avoid the duplication of recreational services and facilities.

In the spirit of cooperation, a number of schools with expired agreements are continuing to provide facilities even though no new agreements have yet been executed. Formal agreements, particularly at Azalea Elementary and Audubon Elementary, should be immediately updated and executed to ensure continued park services for residents.

FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES

PARK TYPE	OWNER	PARK VOUCHER	ACRES	RECREATION CENTER	SOFTBALL / BASKETBALL	LL BASEBALL FIELDS	SURF / MULTISPORT	SWIMMING POOL	BASKETBALL COURTS	TENNIS COURTS	RACQUETBALL COURTS	VOLLEYBALL COURTS	PLAYGROUND	FITNESS COURSE	BOAT RAMP	GOLF COURSE
MAJOR SPORTS/PERFORMING ARTS/SPECIAL FACILITIES																
Bob Carr Performing Arts Center	City	Citywide	4.22													
Dr. Phillips Performing Arts Center	City	Citywide	1.72													
Orlando Arena	City	Citywide	17.51						1							
Orlando Citrus Bowl	City	Citywide	35.2				1									
Orlando Wetlands Park	City	Citywide	1280											1		
Tinker Field/McCracken Field	City	Citywide	6.15		2											
Total Major/Special Facilities Acreage			1944.8													

COMMUNITY PARKS																
Callahan Neighborhood Center/Park	City	1	3.9	1					2				2			
Downtown Recreation Center	City	1	14.49	1					1	15	4					
Dubsread Golf Course	City	1	117													1
Emery Hamilton Sports Complex (West Colonial Recreation Complex)	City	1	25.5				4									
Lake Fairview Park	City	1	23	1	5								1		1	
Trotter's Park (formerly Ben White)	City	1	93.9		2	2	4							1		
Baldwin Park (Unit 3/Village Center - Harbor Park)	City	2	2													
Baldwin Park (Lake Baldwin Shoreline)	City	2	27.69													
Blue Jacket Park (Baldwin Park, Unit 4, Tract 178; includes Glennridge MS)	City	2	49		2	1	3		3	3			1		1	
Blue Jacket Park (Center Extension; Baldwin Park Unit 4, Tract 179; City)	City	2	5.61													
Blue Jacket Park (Eastern Extension; Baldwin Park Unit 5, Tract 191; City)	City	2	6.5													
Cady Way Bike Trail (Linear Park)	City	2	8.2												1	
Colonia town Neighborhood Center	City	2	2.1	1				1					1			
Gaston Edwards Park	City	2	6.2									1	1	1	1	
Heritage Square (Orange County History Center)	County	2	2.34													
Langford Park	City	2	18.97	1					1	2			1			
Leu (Harry P.) Botanical Gardens	City	2	55.8													
Loch Haven Park (Inc. Orl Museum of Art, Orl. Science Ctr., Mannello)	City	2	48.5													
Marks Street Senior Center (Orange County)	County	2	2.37													
Orlando Festival Park	City	2	8.27						1							
Orlando Skate Park	City	2	5.33									4				
Park of the Americas (formerly Herndon Nature Park)	City	2	28.55													
Bill Frederick Park (formerly Turkey Lake Park)	City	3	173					1					2	1	1	
Claudia Allen Senior Center	City	3	3.2	1												
Clear Lake Park	City	3	24											1		
Dr. Smith Neighborhood Center	City	3	17	1	2				2							
Eagle Nest Park	City	3	50		2	1	1						2			
Hankins Park	City	3	16.34	1	1			1	2	2			1			
John H. Jackson Recreation Center	City	3	6.3	1	1			1	1	4			1			
Lake Fran Bike Trail (Linear Park)	City	3	4.85													1
Orlando Sports Complex (OCPS Joint Use Agreement - Jones HS)	OCPS	3	27.84		2		1		2	3				1		
Demetree Park	City	4	24.6									1	1	1		
Englewood Neigh. Qtr./School	City/OCPS	4	10.1	1	2			1	4	1		1	1			

**FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES**

PARK TYPE	OWNER SHIP	PARK VISECTOR AREA	ACRES	RECREATION CENTER	SOFTBALL / BASEBALL FIELDS	LL BASEBALL FIELDS	PURPOSE / MULTIS	SWIMMING POOL	BASKETBALL COURTS	TENNIS COURTS	RACQUETBALL COURTS	VOLLEYBALL COURTS	PLAYGROUND	FITNESS COURSE	BOAT RAMP	GOLF COURSE
Greenwood Cemetary	City	4	82													
Greenwood Urban Wetland	City	4	18.97													
LaCosta Urban Wetland	City	4	20.99													
Lake Underhill Shoreline Park	City	4	8.8											1	1	
Mayor Beardall Center/Park	City	4	3.08	1												
Southport Park (former ONTC/McCoy Annex)	City	4	45	1	6			1	1	6				1		
East Park PD N-5 (Park #4, Public, City Maintained Community Park)	City	5	1.17						2							
East Park PD N-5 (Park #7, Public, City Maintained Community Park)	City	5	6.54									1		7	1	
East Park PD N-5 (Park #8, Public, City Maintained Community Park)	City	5	1.41							3			1			
NorthLake Park Elementary/YMCA (OCPs Joint Use Agreement)	OCPs	5	21.6	1		1	1	1	2	2						
Southeast Bike Trail (Linear; N-1 and N-3 Portion)	HOA	5	4.71													
Southeast Bike Trail (Linear/NorthLake Park HOA; N-5 Portion)	HOA	5	5.95													
Vista Lakes Community Center (Privately Owned, Partially Accessible, Gated)	HOA	6	7.38	1				1		2						
Total Community Park Acreage			1140.05													

NEIGHBORHOOD PARKS																
Lighthouse Park	City	1	3.52										1			
Rosemont Community Area	City	1	7.51	1										1	1	
Rosemont Park/Tot-Lot	City	1	1.27										1			
Rosemont Sports Fields and Community Center	City	1	11.38	1		2	1	1	2	1			1	1		
Signal Hill Park	City	2	7.3				1		2			1	1	1		
Willows Park	City	2	1.9		1				2				1			
Lake Lawne Park (Joint City/County Neighborhood Park, 1320 Lawne Blvd)	City/Co.	3	2.2						1							
Mercy Drive Playground (Children's Safety Village)	City	3	9.22	1					2				1			
Northwest Community Center (Hal Marston Community Center)	City	3	16.3	1				1								
Albert Park (aka First Park)	City	4	0.52													
College Park Community Center (Adj to Princeton Elem. & Princeton Park)	City	4	1.14	1												
Dartmouth Park	City	4	3.24										1	1		
Guernsey Park	City	4	2.78						1				1			
Ivanhoe Plaza Park	City	4	4.5													
Lake Adair	City	4	3.25													
Lake Concord (Don Dudley)	City	4	2.71													
Lake Ivanhoe	City	4	11.2													
Mathews Park	City	4	4.2		2								1			
Overbrook Park	City	4	1.65													
Princeton Park Playground	City	4	3.27		1	1		1	2	2			1			
Beth Johnson Park	City	5	1.2													
Big Tree Park	City	5	0.7													
Lake Estelle	City	5	2.7													
Lake Formosa	City	5	1.4													

**FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES**

PARK TYPE	OWNER	ACRES	RECREATION CENTER	SOFTBALL FIELDS / BASEBALL FIELDS	LL BASEBALL FIELDS	SURPOSE / MULTIS	SWIMMING POOL	BASKETBALL COURTS	TENNIS COURTS	RACQUETBALL COURTS	VOLLEYBALL COURTS	PLAYGROUND	FITNESS COURSE	BOAT RAMP	GOLF COURSE
Lake Highland Park	City	5	3.61												
Lake Rowena	City	5	1.7												
Loch Haven Neighborhood Center	City	5	4.2	1											
Orlando Cultural Park (former USDA site)	City	5	3.52												
Orwin Manor Green	City	5	0.19												
Orwin Manor/Westminster Green	City	5	0.45												
Park Lake	City	5	2.58												
Audubon Park Elementary (OCPS Joint Use Agreement)	OCPS	6	7.5		2			2				1			
Colonialtown Square	City	6	0.5												
Iowa Place Park	City	6	0.36												
Mitchell Nutter Park	City	6	0.96									1			
Songbird Park (1124/30 Cardinal Rd)	City	6	0.18												
Florida A&M School of Law Green	City	7	0.45												
Lake Dot	City	7	2												
Lorna Doone Park	City	7	16.26	1	2			1	2			2			
Parramore Heritage Central Park (Stormwater Pond - 4.8 ac; Parkland 2.3)	City	7	2.3												
Riley Park	OCCEA	7	0.57												
Rock Lake Park	City	7	14.54			1		1	1						
Cherry Tree Park	City	8	0.96								1	1			
Constitution Green	Private	8	1												
Dickson Azalea Park	City	8	3.4												
East Central Neighborhood Center	City	8	0.7	1											
Gertrude's Walk	City	8	0.47												
Hampton Park	City	8	1.42												
Howard Middle School (OCPS JUA-Soccer Field & Track north of Robinson)	OCPS	8	3.69			1									
Kittenger Park	City	8	5.5									1			
Lake Eola Park	City	8	13.48									1		1	
Lake Lawsona	City	8	1.94												
Orlando City Hall Urban Park	City	8	1.1												
Wall Street Plaza	City	8	0.32												
Azalea Park Playground (OCPS - JUA Expired)	OCPS	9	11.6		1	3		2				1			
Fairway Cove Green (6600 Fairway Cove Drive)	HOA	10	3.94												
MetroWest Country Club - (Golf Course Subtracted; 2100 S. Hiwassee Rd)	HOA	10	2.6				1		6						
Palma Vista Green (7548 Westpointe Blvd)	HOA	10	0.41												
Park Avenue at Metrowest Green	HOA	10	1.34												
Stonebridge Commons Open Space/Green (3101 Robert Trent Jones Dr)	HOA	10	10.2	1			1	1	2						
Westchester Open Space/Green (601 Berks Ct)	HOA	10	0.84												
Ivey Lane Park	City	11	8.75		1	1		1	1			1			
Lace Fern Village Park (within Timberleaf)	City	11	0.32												
Malibu Groves Park (Tot Lot)	City	11	0.2												
Pleasant Valley Park	City	11	1.6					1				1			

**FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES**

PARK TYPE	OWNER/SHIP	PARK/RECREATION/SECURITY/AREA	ACRES	RECREATION CENTER	SOFTBALL/FIELD/BASEBALL	LL BASEBALL/FIELD	PURPOSE/SECURITY/FIELD	SWIMMING POOL	BASKETBALL COURTS	TENNIS COURTS	RACQUETBALL COURTS	VOLLEYBALL COURTS	PLAYGROUND	FITNESS COURSE	BOAT RAMP	GOLF COURSE
Poppy Park	City	11	2.3						1	2			1			
Willie Mays Park	City	11	3.4						2				1			
George Barker Park	City	12	7					1				1			1	
Gilbert McQueen Park	City	12	6.61		1								1			
Grand Avenue Elementary/Park	City/OCPS	12	8.65			2			2				1			
Isle of Catalina Neighborhood Center (2701 Catalina Drive, Private)	HOA	12	0.86	1											1	
Lizzie Rogers Park	City	12	3.14										1			
Washington Shores	City	12	1													
Al Coith Park	City	13	6.1											1		
Cherokee Park	City	13	3.1													
Dalaney Park Playground	City	13	7.23		1	1				2			1			
Lake Beauty Park	City	13	0.56													
Lake Cherokee Shoreline Park	City	13	3.8													
Lake Como	City	13	4.45													
Lake Davis	City	13	3.52													
Lake Emerald	City	13	0.28													
Lake Lancaster	City	13	0.79													
Lake Lucerne	City	13	3.2													
Lake Weldon	City	13	0.48													
Mayfair Green (939 Mayfair Circle)	City	13	0.2													
Southern Gateway Park	City	13	0.29													
Wadeview Park/Boone High School/Blaker K-8/Pool	City/OCPS	13	18.55	1	1	1	1	1	2	4			1			
Bryn Mawr Recreation Area (Privately Owned/Maintained)	HOA	14	4					1		2						
Citrus Square Recreation Site	City	14	0.2	1												
Como Elementary Playground and Ballfields	City	14	6.5			2	1		2				1			
Dover Estates Linear Park	City	14	0.2													
Dover Shores Neighborhood Center	City	14	8.43	1	1			1	2	2	2		1			
Lake Dover (803 Wavecrest Drive)	City	14	0.4													
West Underhill Park	City	14	4.36													
Englewood Park	City	15	6.8										1			
Leroy Hoequist Park	City	15	15.5												1	
Baldwin Park (Unit 1, Tract 7, Cady Way Trail, South of Fox Street)	City	16	2.76													
Baldwin Park (Unit 1, Tract 2, "S" Park, New Broad Street)	CDD	16	5.16													
Baldwin Park (Unit 1, Fox Street)	CDD	16	7.08													
Baldwin Park (Unit 1, Tract 5, Enders Park)	HOA	16	3.45	1				1					1			
Baldwin Park (Unit 2, Tract 71, Grace Hopper Hall)	HOA	16	1.06	1				1								
Baldwin Park (Unit 2, Tract 72, Crescent Park)	HOA	16	2.68													
Baldwin Park (Unit 2; Elementary School and Park Site)	OCPS	16	2.86			1	1		2				1			
Baldwin Park (Unit 4, Tract 180, Robin Rd./Ethan Ln.)	HOA	16	1.25													
Baldwin Park (Unit 4, Tract 181, Robin Rd./Lower Union Rd.)	HOA	16	2.02											1		
Baldwin Park (Unit 4, Tract 182, Osprey Ave)	HOA	16	0.97													
Baldwin Park (Unit 6, Tract 203, Meeting Place Park)	HOA	16	2.55													

FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES

PARK TYPE	OWNER	PARSERVICETOTAL AREA	ACRES	RECREATION CENTER	SOFTBALL FIELDS / BASEBALL FIELDS	LL BASEBALL FIELDS	PURPOSE MULTIFIELDS	SWIMMING POOL	BASKETBALL COURTS	TENNIS COURTS	RACQUETBALL COURTS	VOLLEYBALL COURTS	PLAYGROUND	FITNESS COURSE	BOAT RAMP	GOLF COURSE
Baldwin Park (Unit 7, Tract 244, Lk Susannah Shoreline)	City	16	3.78													
Baldwin Park (Unit 7, Tract 245, Lk Susannah Shoreline)	City	16	1.11													
Baldwin Park (Unit 7, Tract 246, Cady Way Trail-South)	City	16	0.31													
Baldwin Park (Unit 7, Tract 247, Cady Way Trail-South)	City	16	0.51													
Baldwin Park (Unit 7, Tract 255, Cady Way)	City	16	0.53													
Baldwin Park (Unit 8A, Tract 315, Lake Susannah Shoreline)	City	16	1.07													
Baldwin Park (Unit 8A, Tract 314, Lake Susannah Mews)	CDD	16	1.63													
Baldwin Park (Unit 8A, Tract 310, Dorwin Place Park)	HOA	16	0.56													
Baldwin Park (Unit 8A, Tract 313, Foss Ave.)	CDD	16	0.2													
Baldwin Park (Unit 9A, Tract 259, Lake Connection Park CDD)	CDD	16	6.26													
Baldwin Park (Unit 9A, Tract 285, Lake Baldwin Dr/Shea Dr.: CDD)	CDD	16	5.59													
Baldwin Park (Unit 9A, Tract 289, Lake Susannah Shoreline: City)	City	16	0.69													
Baldwin Park (Unit 9B, Cady Way Trail, City)	City	16	1.31													
Baldwin Park (Unit 10, Tract 393, Community Center: Private)	HOA	16	0.83					1								
Baldwin Park (Unit 10, Tract 392, East Unit 10; CDD)	CDD	16	7.08													
Baldwin Park (Unit 10, Tract 391, West Unit 10; CDD)	CDD	16	2.01													
Airport Lakes Park	City	17	35.5	1			2						1			
McCoy Elementary School/Parks (OCPS JUA)	OCPS	18	5.43		1											
Amhurst Park (Vista Lakes HOA, Privately Owned, Accessible to All)	HOA	19	7.58		1		1		2				1			
Millford Haven Green (Vista Lakes, 5958 Millford Haven Place; Gated)	HOA	19	0.23													
Tivoli Woods PD Tract B	HOA	19	1.33					1	0.5				1			
Tivoli Woods PD Tract I	HOA	19	0.78							2			1			
Tivoli Woods PD Tract Y	HOA	19	0.89					1	0.5				1			
Tivoli Woods PD Tract F	HOA	19	1.69					1	1				1			
Tivoli Woods PD Tract E	HOA	19	0.45					1								
LeeVista Square Tract U (Crowntree)	HOA	20	0.28												1	
Tivoli Gardens Tract F (Crowntree)	HOA	20	0.5												1	
Tivoli Gardens Tract J (Crowntree)	HOA	20	0.27													
Vista Lakes Tot Lot/Lakeshore Park (Gated)	CDD/HOA	20	2.4												1	
East Park PD N-1 Neighborhood Park (City Owned-Privately Maintained)	City	21	0.63												1	
East Park PD N-3 (Tract G, Public-Privately Maintained)	HOA	21	0.75												1	
East Park PD N-5 (Park #2, Public-Privately Maintained)	CDD	21	1.53													
East Park PD N-7 (Park #1, Public-Privately Maintained)	HOA	21	0.34												1	
Lake Nona Preserve Tract D (Gated)	HOA	21	0.39													
LaVina PD (Tract AA - Tot Lot, Gated)	HOA	21	0.31												1	
LaVina PD (Tract L - Tot Lot, Gated)	HOA	21	0.44												1	
LaVina PD (Tract P - Lakeshore Trail, Gated)	HOA	21	1.15													
LaVina PD (Tract M, Gated)	HOA	21	0.19													
NonaCrest Neighborhood Park (LaVina PD, Gated)	HOA	21	0.98					1							1	
Lake Nona Estates (Gated)	HOA	22	2.9	1				1		6					1	
NorthLake Park N-1 (Magnolia Green)	HOA	22	0.45													

**FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES**

PARK TYPE	OWNER SHIP	PARK RESERVE ACRES	RECREATION CENTER	SOFTBALL FIELDS	BASEBALL FIELDS	SOCCEER / MULTIS	SWIMMING POOL	BASKETBALL COURTS	TENNIS COURTS	RACQUETBALL COURTS	VOLLEYBALL COURTS	PLAYGROUND	FITNESS COURSE	BOAT RAMP	GOLF COURSE	
NorthLake Park N-2A (Glatting Green)	HOA	22	0.8													
NorthLake Park N-2B (Azalea Place Green 1)	HOA	22	1.34													
NorthLake Park N-2B (Azalea Place Green 2)	HOA	22	0.75													
NorthLake Park N-2B (Azalea Place Green 3)	HOA	22	0.67													
NorthLake Park N-2 (Tot Lot - Sunbonnet Street)	HOA	22	1.36									1				
NorthLake Park N-3B (Lakeshore Park/Trial)	HOA	22	2.83													
NorthLake Park N-4 (Endave Green)	HOA	22	2.88				1					1				
NorthLake Park N-5 (Water's Edge; Green Dook Park; Gated)	HOA	22	4.29				1		2							
NorthLake Park N-5 (Water's Edge; Rec Center; Gated)	HOA	22	5.05	1					1							
NorthLake Park N-5 (Water's Edge; Boat Launch Park; Gated)	HOA	22	2.95											1		
NorthLake Park (NorthLake Parkway Green)	HOA	22	2.57													
NorthLake Park (Entry Pond/Ped Trail)	City	22	12.96													
Lake Nona - DiVosta VillageWalk Residential Center (Gated)	HOA	23	6.37	1			1		6							
SouthPort Pool #1 - North	HOA	25	2.43				1					1				
SouthPort Pool #2 - South	HOA	25	2.84				1					1				
SouthPort Recreation Center - Central	HOA	25	1.3	1				1			1					
Spring Lake Park	City	A	0.73													
Hidden Beach (6601 Hidden Beach Circle)	HOA	C	2	1			1		1			1				
Ventura PD (Privately Owned, Gated)	HOA	D	12.88	1			4		4			1	1	1		
Park Central (Gated)	HOA	F	8	1	1		5		2		1		2			
Total Neighborhood Park Acreage			582.91													
LOS Amenity Totals				37	40	20	26	41	64	94	6	13	71	27	13	1

UNDEVELOPED PARKS		
Area C Park (Koger Center - ONTC Transfer)	City	19.17
Baldwin Park (Unit 1 - Park #3-Entry Model Ctr., Neighborhood Park)	City	1.62
Central Florida Veteran's Memorial Park (within Baldwin Park)	City	4.23
East Park PD N-3 ROW/Alleyway/Bike Trail (Public)	HOA	6.49
El Dorado Park	City	4.67
Englewood Park Phase 2	City	10.8
Lake Fran (minus Eagle Nest)	City	4.71
Malibu Groves 4th Add. (Dacey Park)	City	4.62
Malibu (Rattlesnake) Park	City	1.53
OUC Wilderness Park	City	2.90
Prince Hall Park	City	0.18
Randal Park PD - Phase 1	HOA	6.52

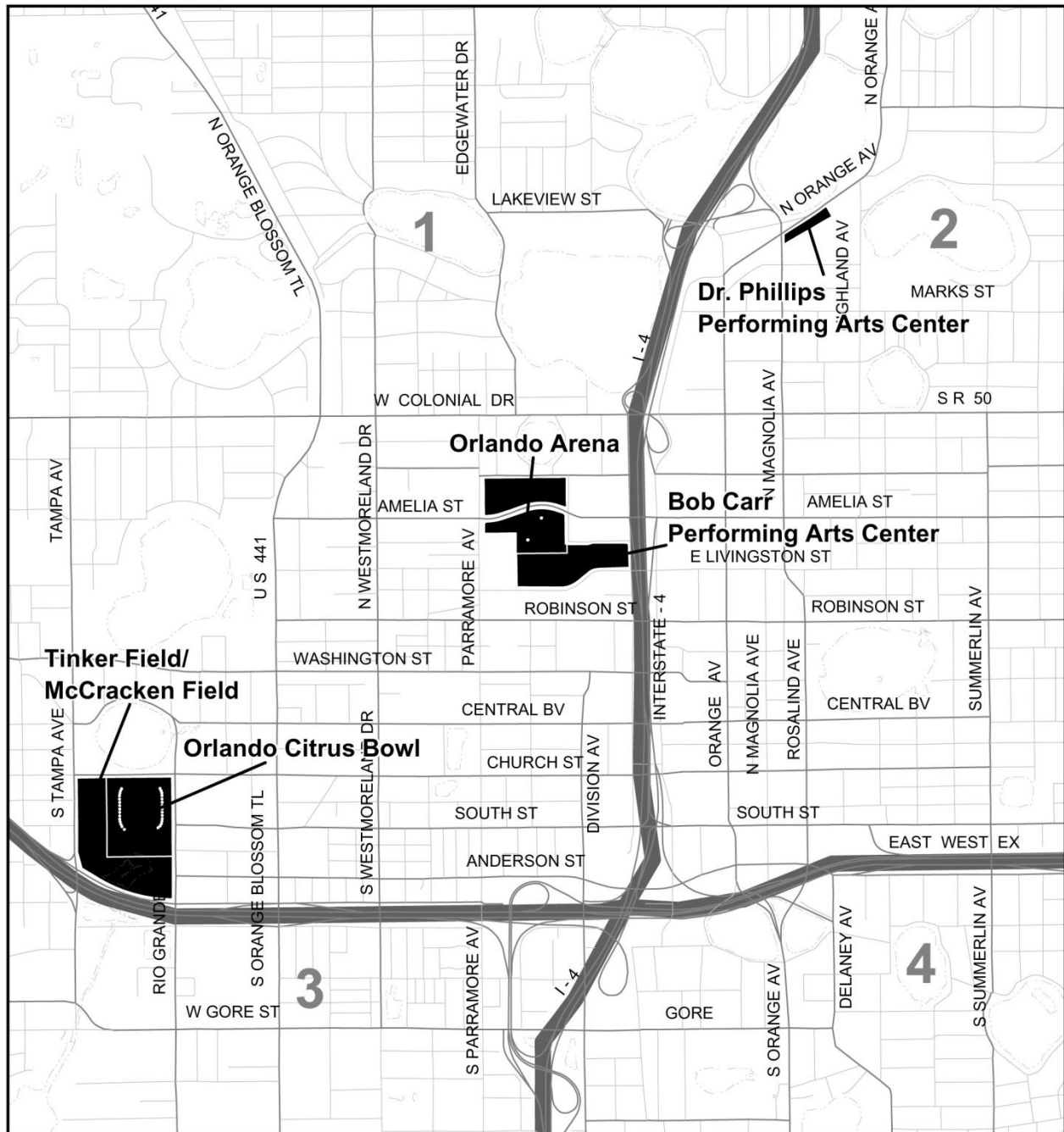
FIGURE R-2
CITY OF ORLANDO PARKS - INVENTORY OF GREENSPACES AND ACTIVITY-BASED AMENITIES

PARK TYPE	OWNER SHIP	PARK V S I C C E T O A R R E O A R	A C R E S	R E C R E A T I O N C E N T E R	S O F T B A L L F I E L D / B A S E B A L L	L L B A S E B A L L F I E L D S	P U R P O S E / F I E L D S - M U L T I -	S W I M M I N G P O O L	B A S K E T B A L L C O U R T S	T E N N I S C O U R T S	R A C Q U E T B A L L C O U R T S	V O L L E Y B A L L C O U R T S	P L A Y G R O U N D	F I T N E S S C O U R S E	B O A T R A M P	G O L F C O U R S E
Ravenall Park	City	13.5														
Seminole Drive (City/GAAA's Private Park West Uk Mare Prairie)	City	14.31														
Silver Rose Pocket Park (4460 South Lake Orlando Parkway)	City	0.45														
Tivoli Woods PD (Eco Park)	City	38.15														
Vista Lakes PD (1 -Anderson Site)	City	12.22														
Washington Shores	City	1.81														
Total Undeveloped Park Acreage		861.27														

Prepared by City of Orlando Economic Development Department, City Planning Division, August 5, 2008.

Figure R-3A

**Major Sports / Performing Arts / Special Facilities
Downtown Area**



LEGEND



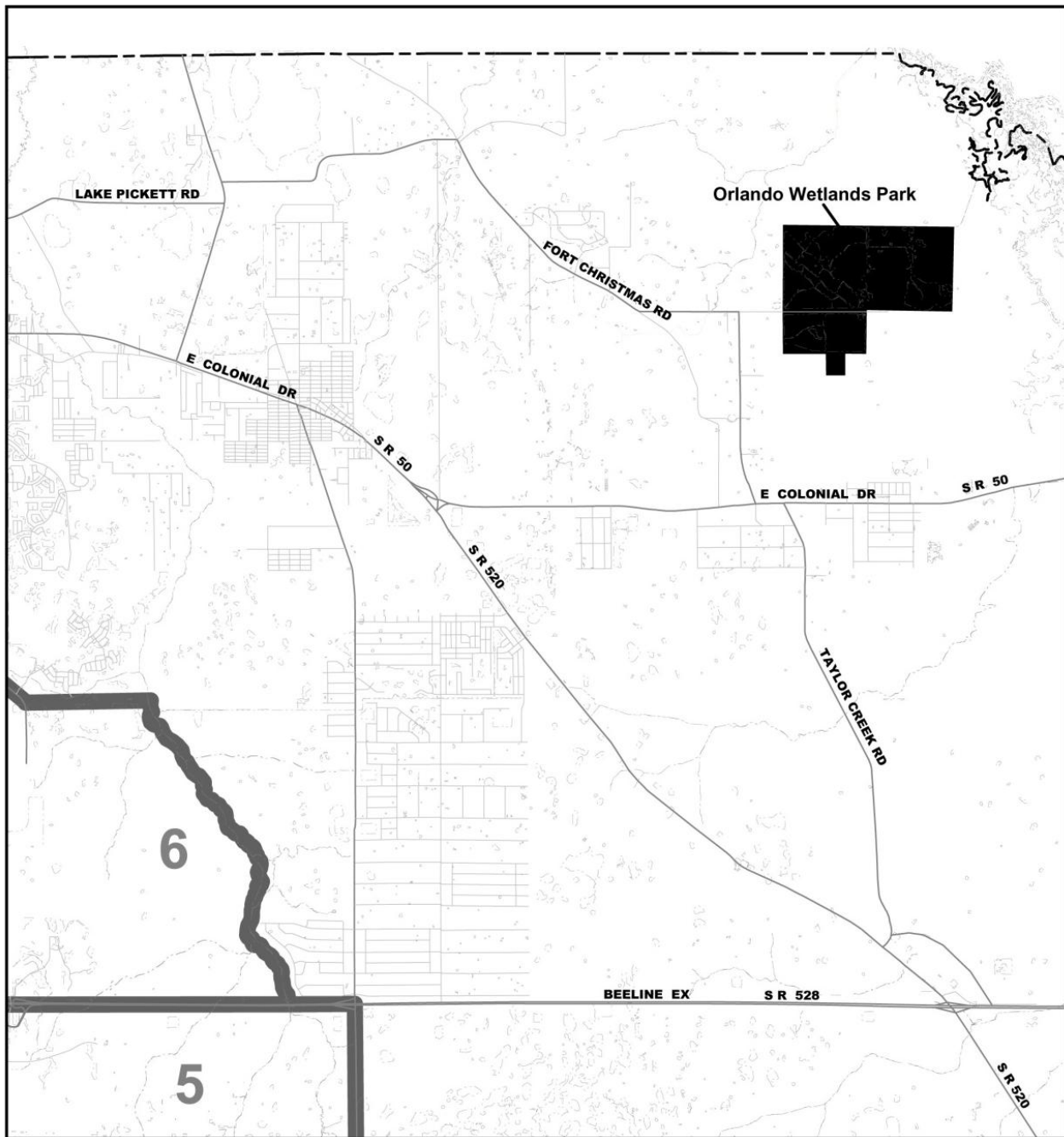
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- Major Sports / Performing Arts / Special Facilities
- ▬ Park Sector Boundary



**Figure
R-3B**

**Major Sports / Performing Arts / Special Facilities
Wetlands Park**



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Major Sports / Performing Arts /
Special Facilities

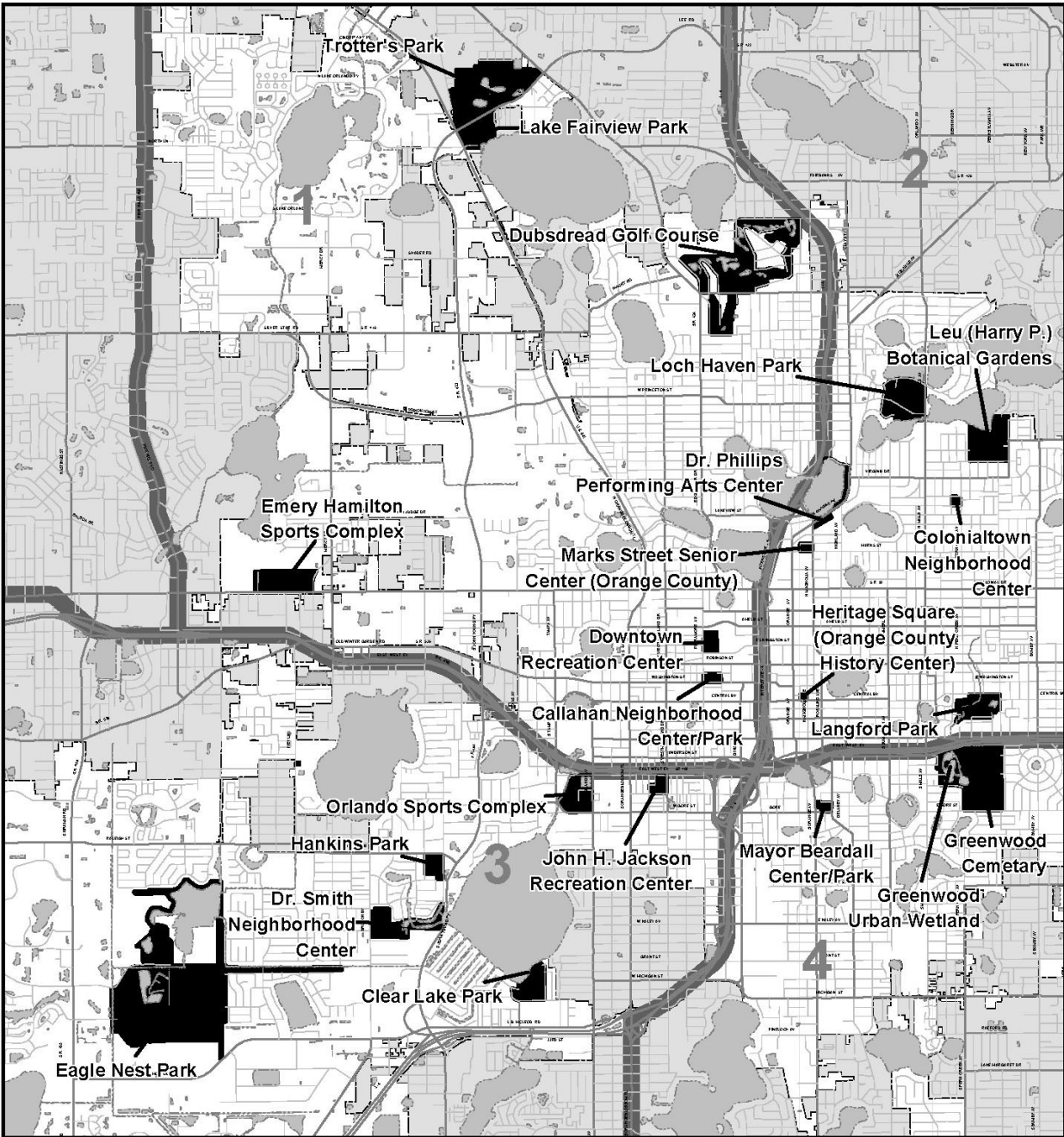


Park Sector Boundary

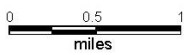


**Figure
R-4A**

Community Parks - Northwest



LEGEND



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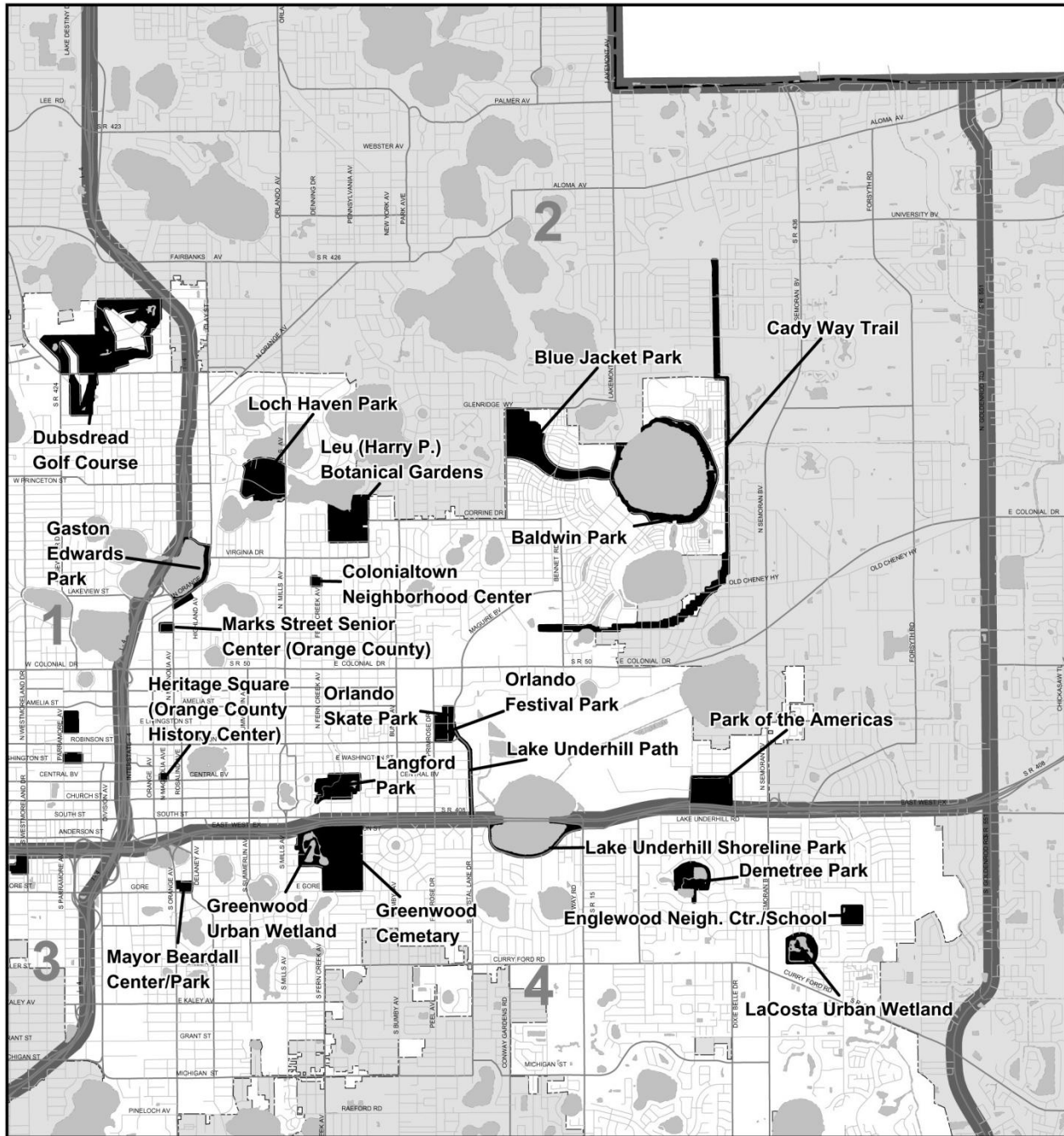
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-  Community Parks
-  Park Sector Boundary

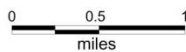


Figure R-4B




Community Parks - Northeast



LEGEND



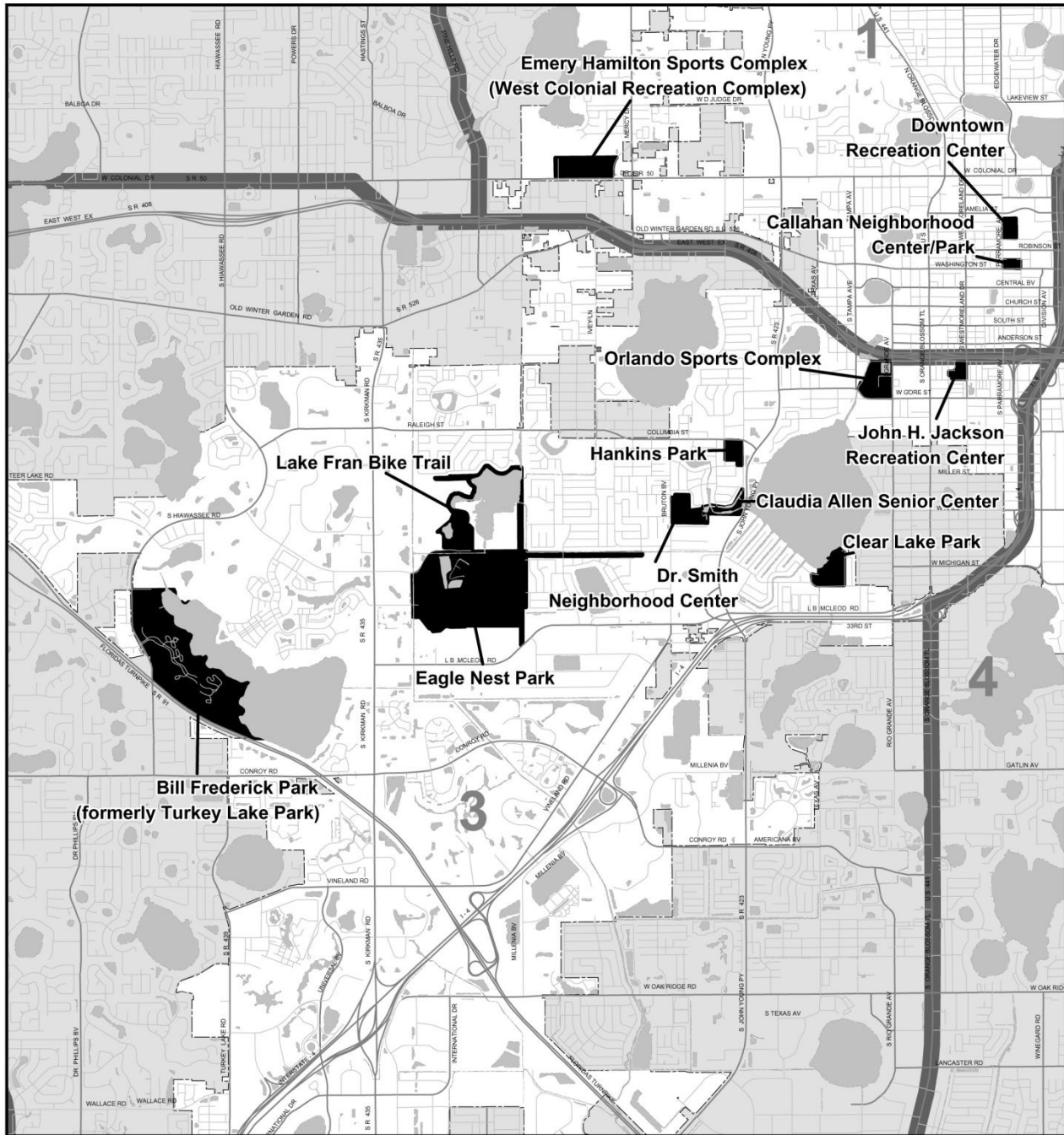
City of Orlando
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-  City of Orlando Jurisdiction
-  Community Parks
-  Park Sector Boundary

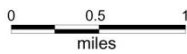


**Figure
R-4C**




Community Parks - Southwest



LEGEND



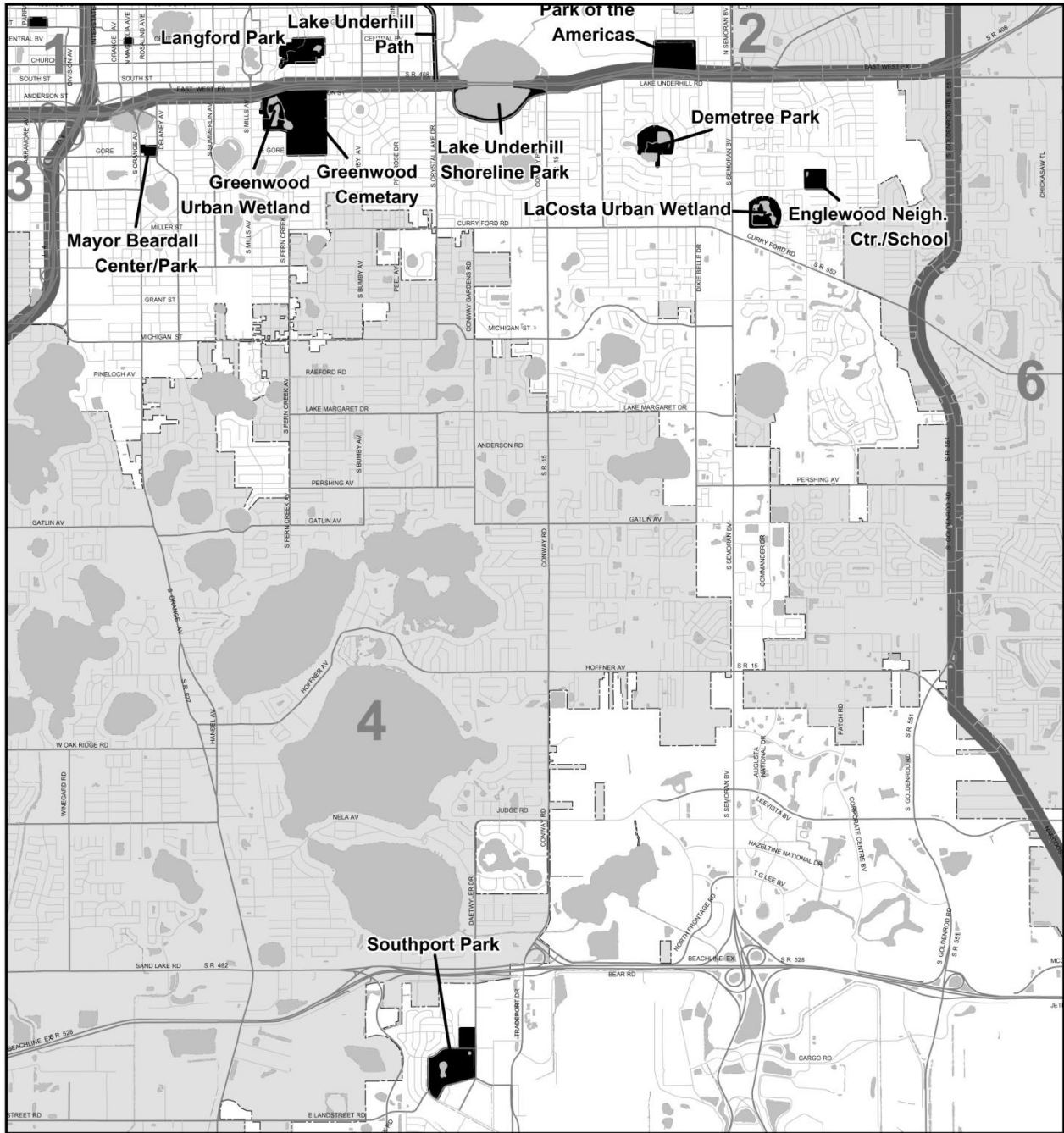
City of Orlando
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-  City of Orlando Jurisdiction
-  Community Parks
-  Park Sector Boundary

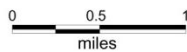


**Figure
R-4D**

Community Parks - Southeast



LEGEND



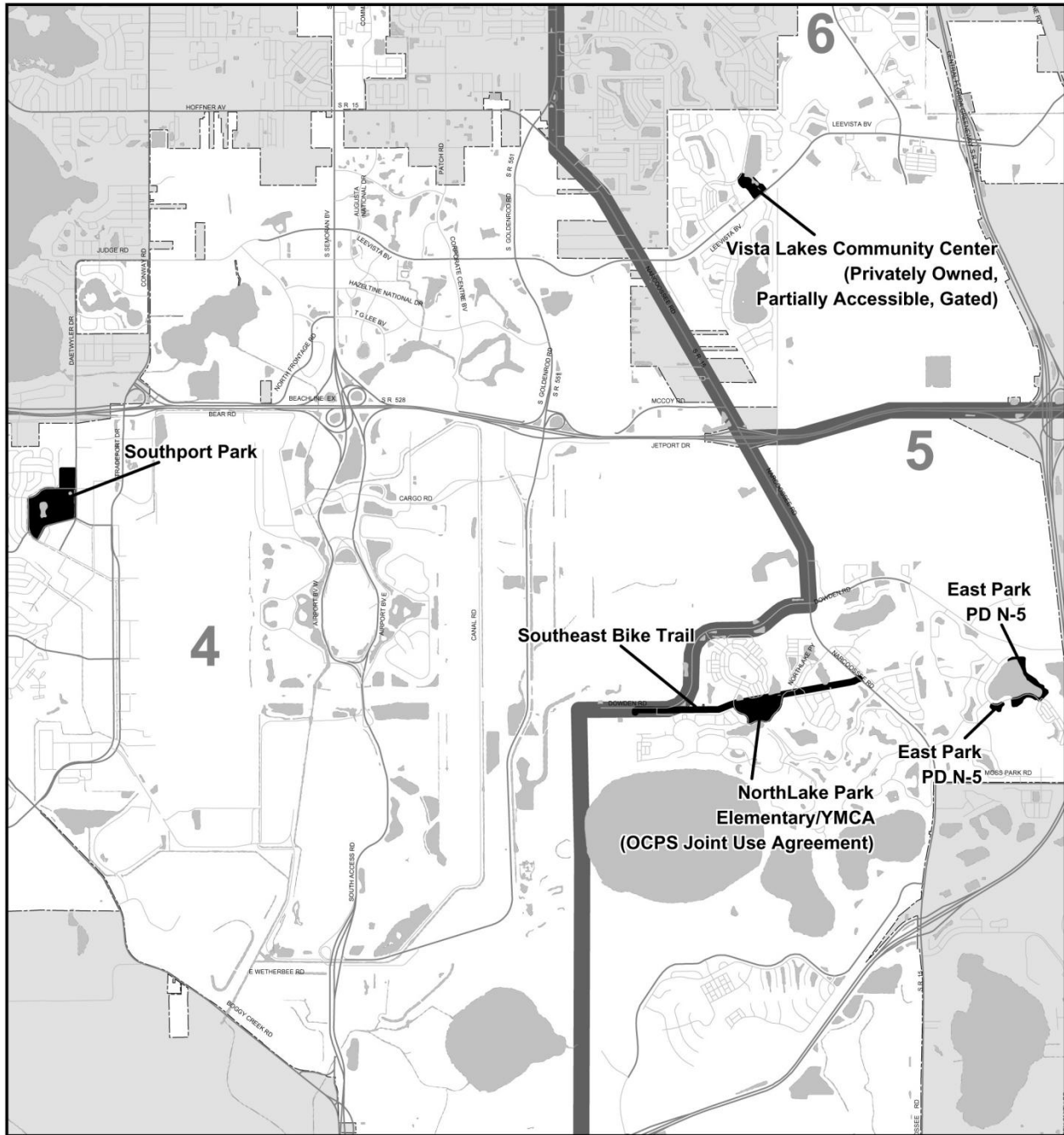
City of Orlando
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-  City of Orlando Jurisdiction
-  Community Parks
-  Park Sector Boundary

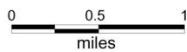


**Figure
R-4E**

Community Parks - Southeast



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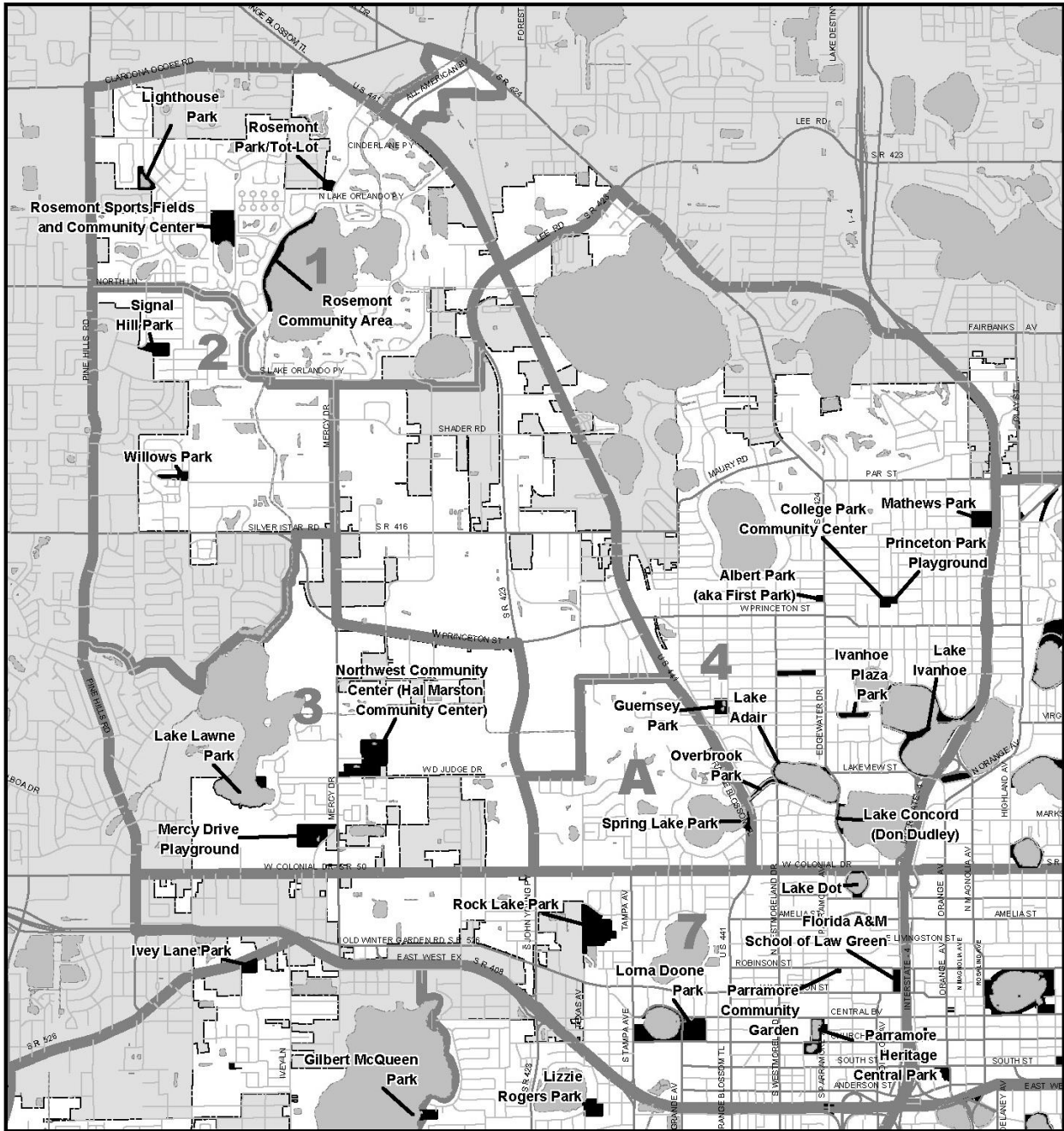
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-  City of Orlando Jurisdiction
-  Community Parks
-  Park Sector Boundary

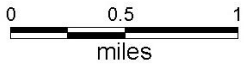


Figure R-5A



Neighborhood Parks - Northwest



LEGEND



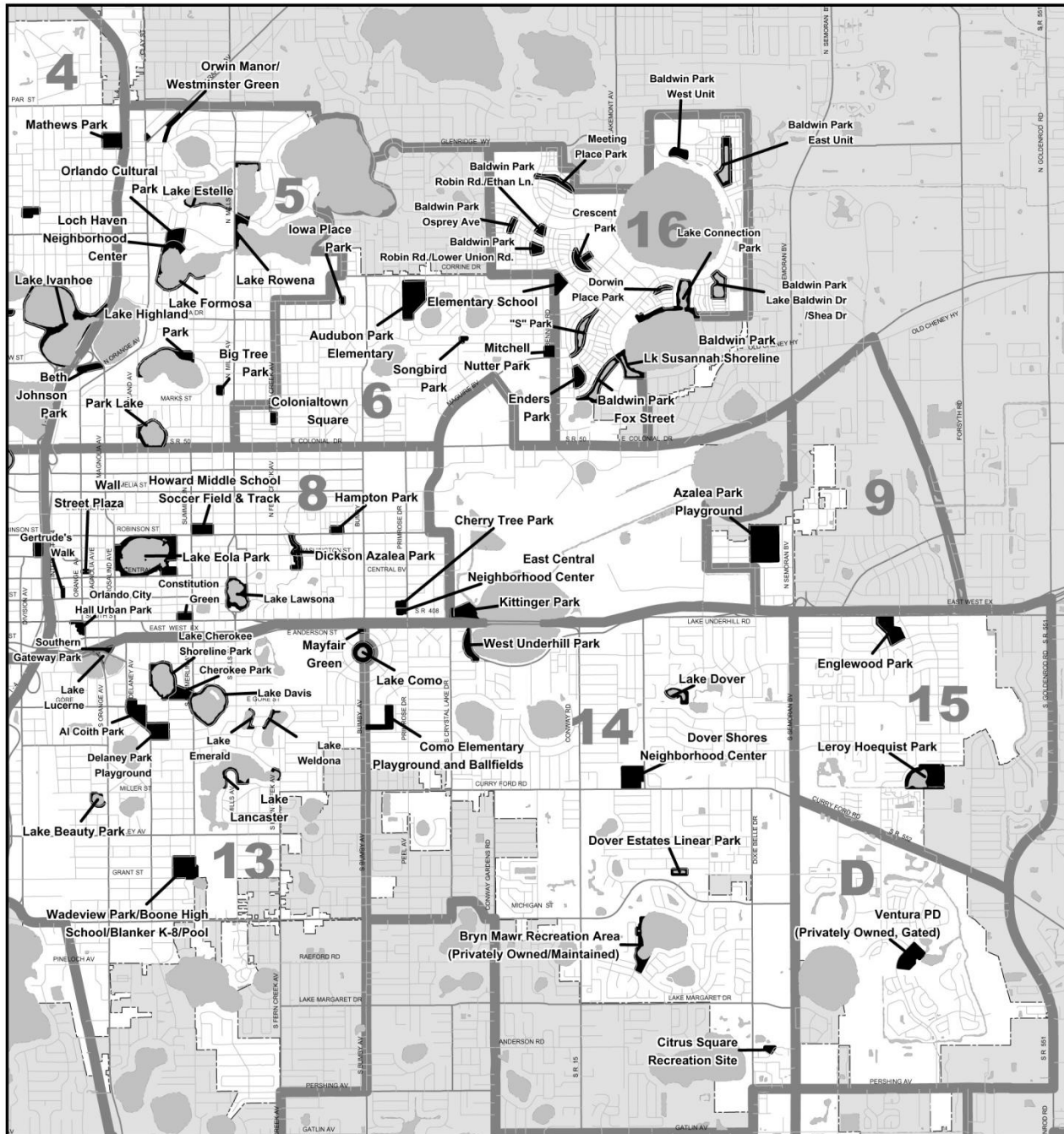
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-  City of Orlando Jurisdiction
-  Neighborhood Parks
-  Neighborhood Park Service Areas

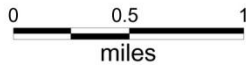


**Figure
R-5B**

Neighborhood Parks - Northeast



LEGEND



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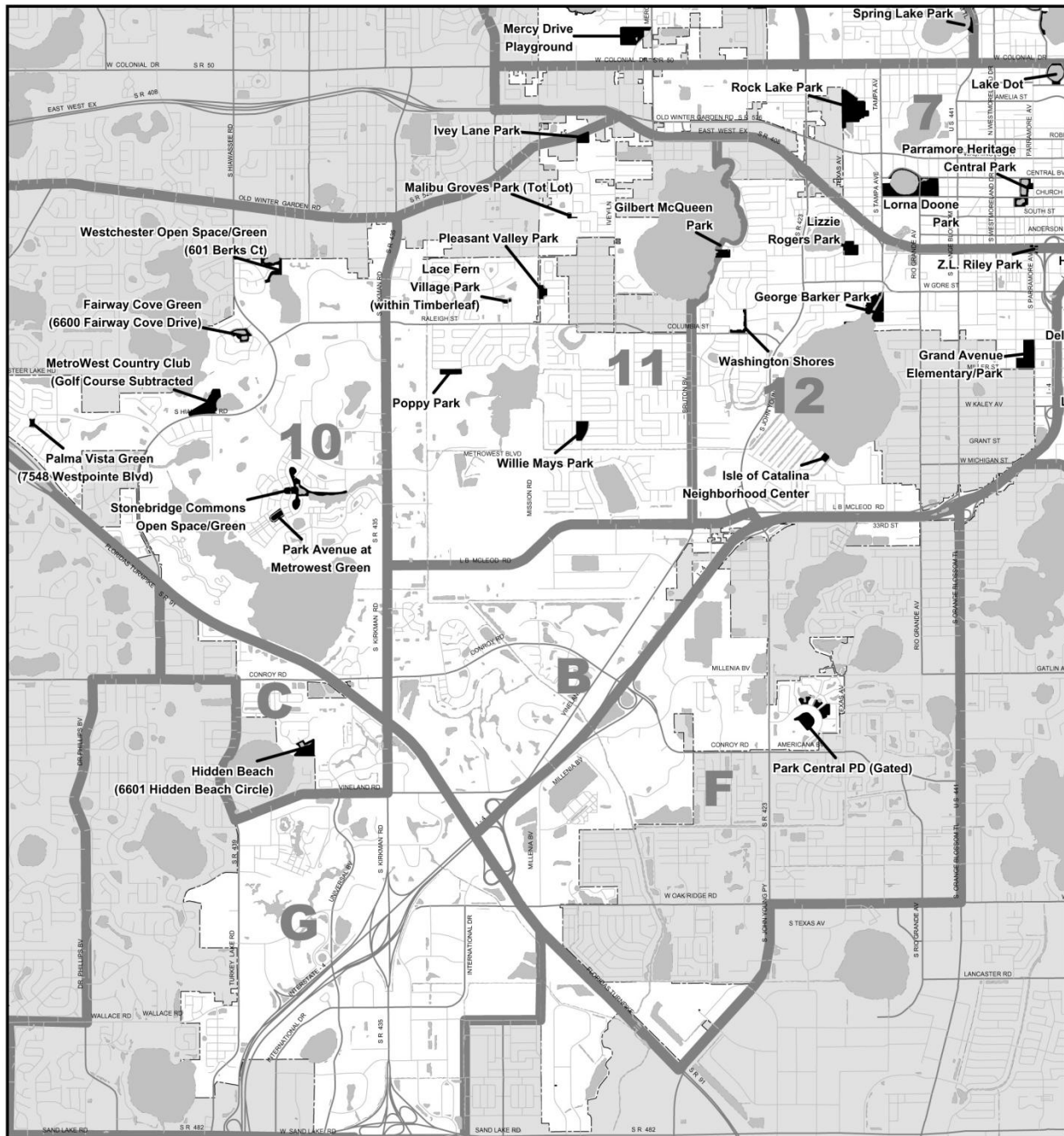
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-  Neighborhood Parks
-  Neighborhood Park Service Areas

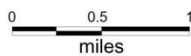


Figure R-5C



Neighborhood Parks - Southwest



LEGEND



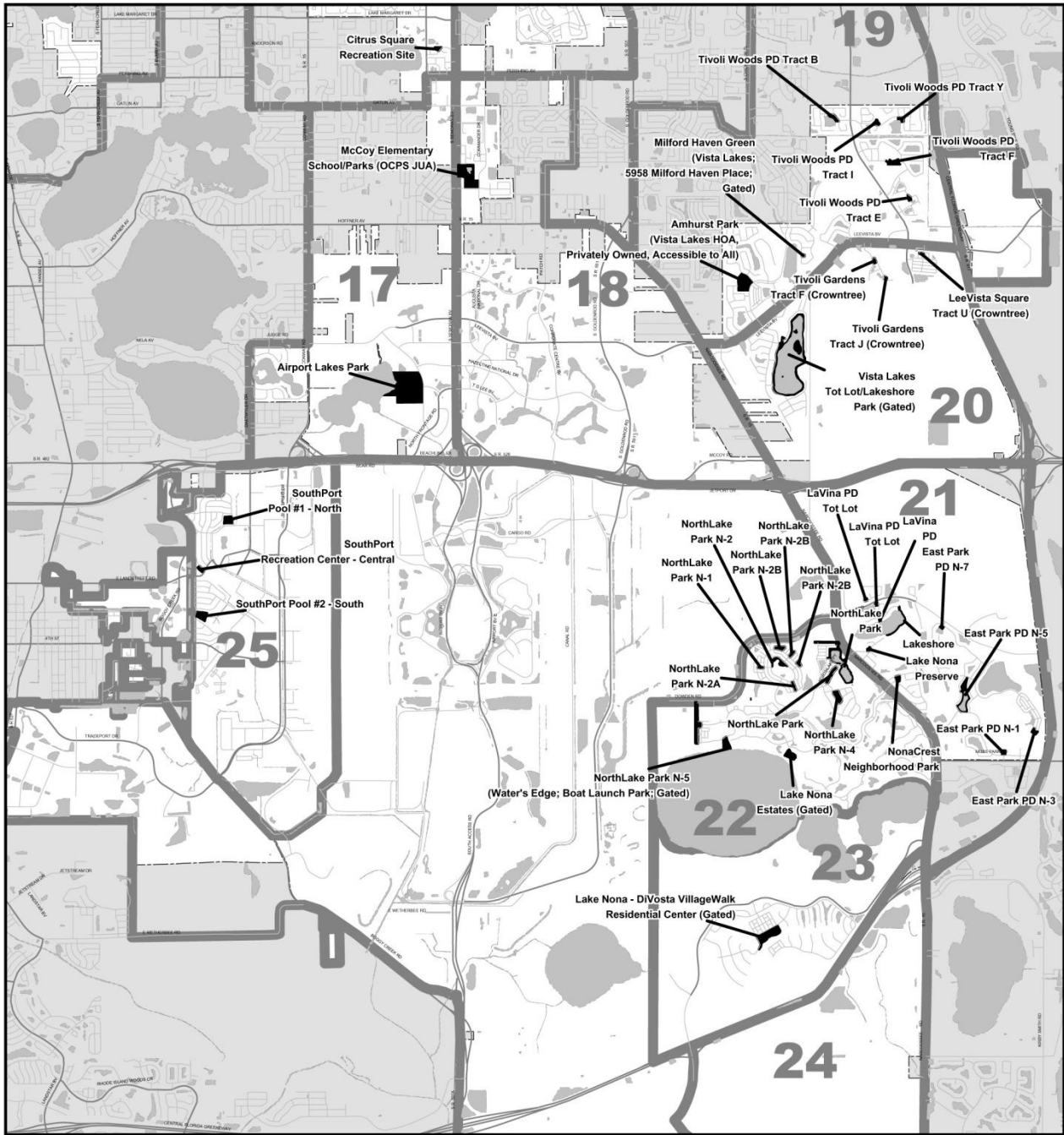
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-  City of Orlando Jurisdiction
-  Neighborhood Parks
-  Neighborhood Park Service Areas

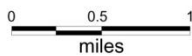


**Figure
R-5D**




Neighborhood Parks - Southeast



LEGEND



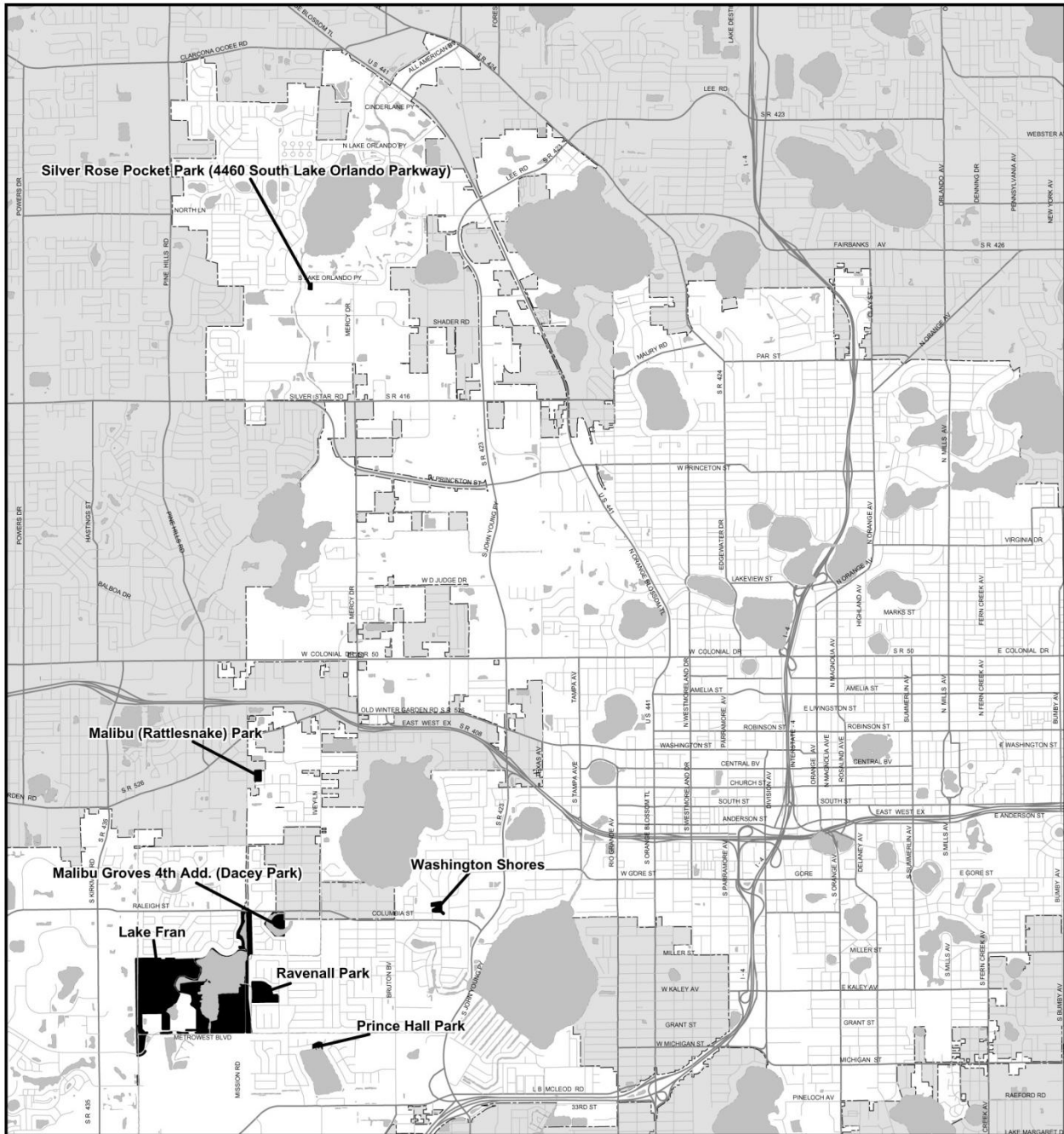
City of Orlando
Economic Development Department
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-  City of Orlando Jurisdiction
-  Neighborhood Parks
-  Neighborhood Park Service Areas

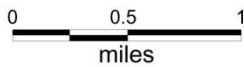


**Figure
R-6A**

Undeveloped Parks - Northwest/Southwest



LEGEND



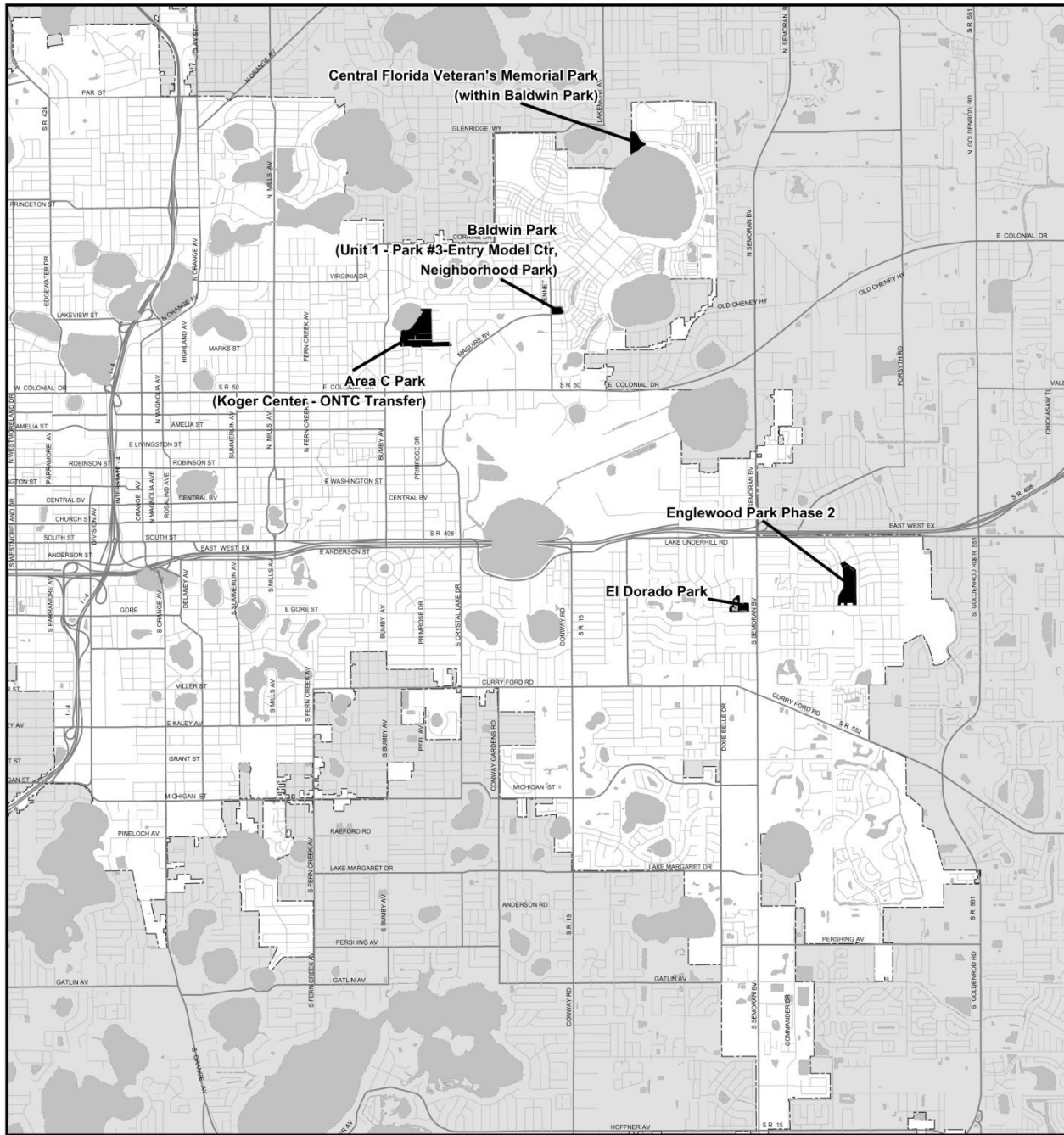
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Economic Development Department
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-  City of Orlando Jurisdiction
-  Undeveloped Parks

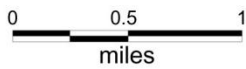


**Figure
R-6B**

Undeveloped Parks - Northeast/Southeast



LEGEND



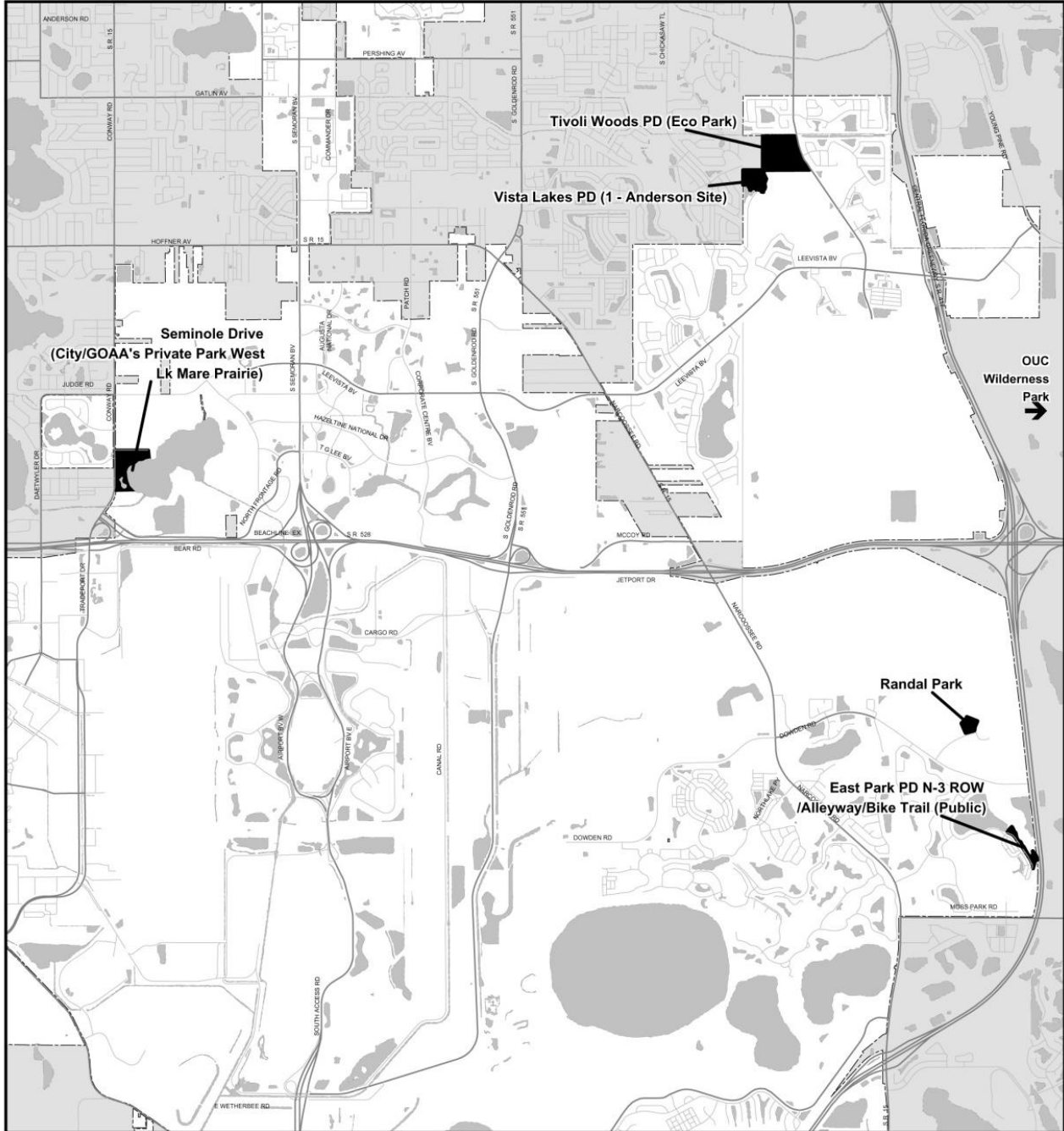
-  City of Orlando Jurisdiction
-  Undeveloped Parks



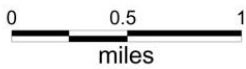
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**Figure
R-6C**



Undeveloped Parks - Southeast



LEGEND



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Economic Development Department
September, 2008

-  City of Orlando Jurisdiction
-  Undeveloped Parks



2.G. PRIVATE FACILITIES INVENTORY

Many additional recreation facilities and services in Orlando are provided by the private sector. The provision of these services can lighten the burden assumed by the public sector but will never replace it. On a large scale, private recreation opportunities in the Orlando metropolitan area provide activities which are not offered by the public sector and include a number of major tourist attractions such as Universal Studios, Wet' N Wild, Sea World and the Disney theme parks. A list of privately provided recreation facilities within the City of Orlando planning area is shown in Figure R-7, along with a general location map (Figure R-8). The list of privately provided activity based recreation facilities is classified by status, whether the facility is open to the general public for a fee (public) or open only to a specific membership (private). This inventory contains 29 recreational sites divided into four categories:

- 1) Golf Course,
- 2) Health Club,
- 3) Racquet Club, and
- 4) Theme Park and/or Water Park.

FIGURE R-7: PRIVATE ACTIVITY-BASED RECREATION FACILITIES

FACILITY NAME	FACILITY TYPE	STATUS
Balley Health & Racquet Club-Semoran	Health Club	Private
Cardio Club Fitness	Health Club	Private
Citrus Athletic Club	Health Club	Private
Contour Express	Health Club	Private
Country Club of Orlando	Golf Course	Private
Curves	Health Club	Private
Cypress Creek Country Club	Golf Course	Private
Holy Land Experience	Theme Park	Private
LA Fitness-Two Locations	Health Club	Private
Lake Nona Golf Club	Golf Course	Private
MetroWest Country Club	Golf Course	Private
Metro Muscle	Health Club	Private
One on One Health	Health Club	Private
Orange Avenue Gym	Health Club	Private
Orlando Regional Wellness Center	Health Club	Private
Paramount Health Club-Curry Ford Road	Health Club	Private
Police Athletic League of Orlando	Youth Fitness	Private
Rosemont Golf & Country Club	Golf Course	Private
The Fitness Studio of Orlando	Health Club	Private
Universal Studios	Theme Park/Water Park	Private

FACILITY NAME	FACILITY TYPE	STATUS
Ventura Country Club	Golf Course	Private
Wet N' Wild	Theme Park/Water Park	Private
Bay Hill Women's Health and Fitness	Health Club	Private
World Gym	Health Club	Private
YMCA - Downtown	Health Club	Private
YMCA - Lake Nona	Health Club	Private

Source: City of Orlando Planning Division, Economic Development Department 2008.

A development pattern shift which first started in the 1980's from single family detached living units to duplexes, townhouses, condominiums and apartments resulted in an increased demand for activity based parks and open spaces due to increased density and a lack of individual yard space. This trend expanded in the late 1990's and is most noticeable in the southeast and southwest areas of the City of Orlando, particularly along the Semoran Boulevard and Kirkman Road corridors. In the past several years, with residential development of the urban core, the downtown population has increased by over 5,000 people. Many of these multifamily developments offer recreational opportunities, such as pools, work out rooms, tennis courts, and basketball courts.

In order to determine the amount of private recreational opportunities available within the planning area, an inventory of large multifamily complexes was first created in 1999. While there has been additional growth, this chart remains useful for comparison purposes. It should be noted that a number of smaller multifamily developments, including duplexes, were not included. This inventory of private multifamily residential amenities is presented in Figure R-9.

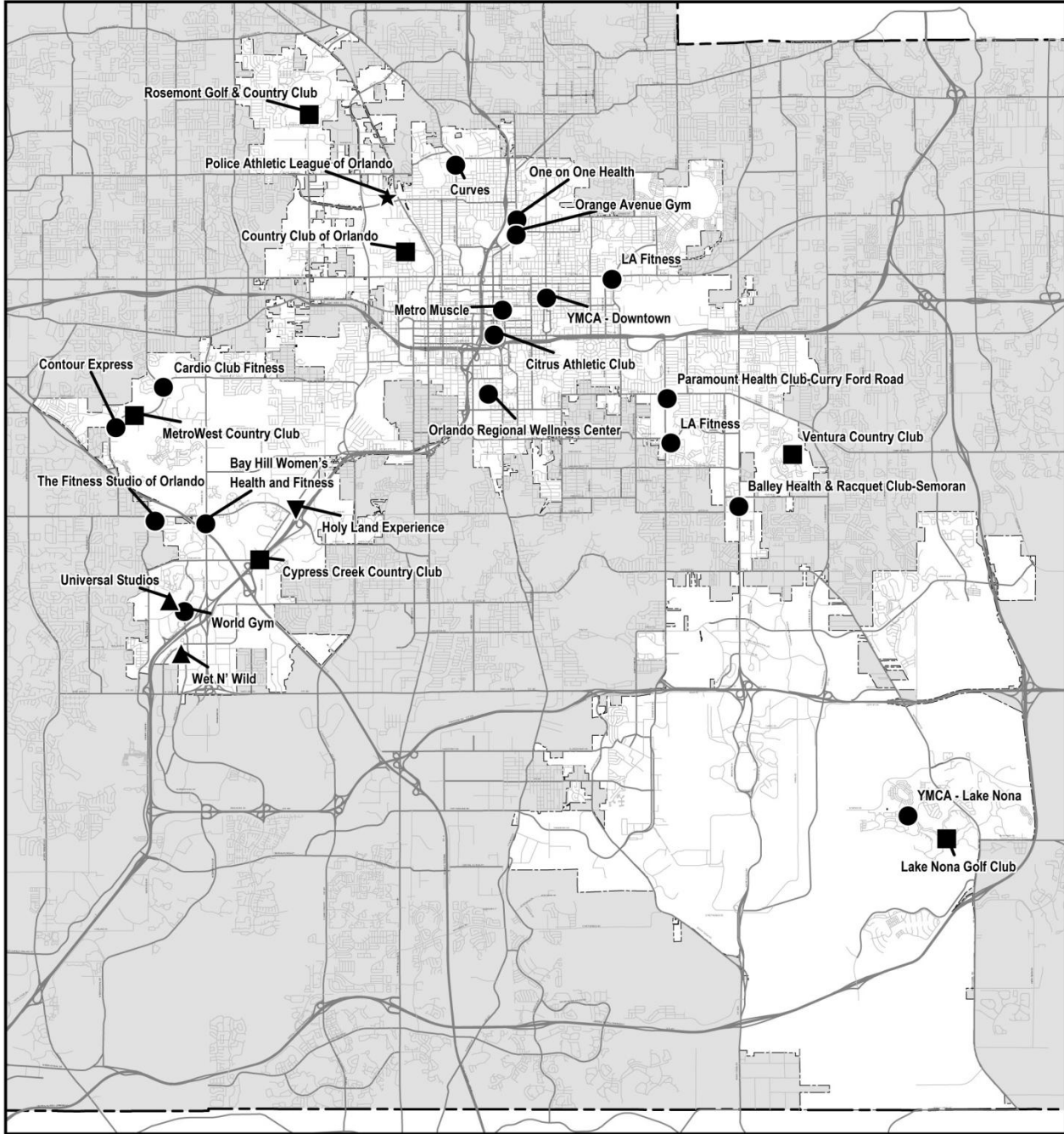
In analyzing this inventory, it is apparent that a number of disparities exist between the different multi-family residential establishments. While many of the developments offered recreational opportunities in the form of tennis courts or pools, a number had no amenities at all. Across the board, however, multi-family residents within the Orlando planning area enjoy a large number of recreational amenities. In almost every small activity-based amenity category (not including ballfields and soccer fields), the City of Orlando exceeds guidelines developed by the National Recreation and Park Association (NRPA). For example, there are 94 tennis courts which serve multi-family residents. With a 2007 multi-family population of 110,389, the population served by 1 tennis court would be 1:1,174 persons. The NRPA guideline is 1 tennis court for every 2,000 persons. Another example is the number of volleyball courts provided (53). Again using the multifamily population figure of 110,389, the population served by the 53 volleyball courts in private multifamily developments is 1:2,083 persons. The NRPA guideline is 1 volleyball court for every 5,000 persons. Similar comparisons can be made for swimming pools, basketball courts, and racquetball courts.

Interestingly, newer establishments offer more activity-based amenities than older multi-family residential developments, probably as a result of the more active lifestyles being led by all Americans. This analysis indicates that private development can provide recreational amenities where demand exists and can be funded through rents or HOA fees. While private

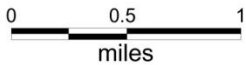
development is providing many activity-based recreational amenities, it is clear that the City has the principal responsibility of providing large recreational amenities. As the private amenity survey reveals, the City should concentrate its resources on providing the more land intensive recreational amenities, such as ballfields and soccer fields, which are typically not provided by the private sector.

**Figure
R-8**

Private Recreation



LEGEND



City of Orlando
Economic Development Department
September, 2008

- ▼ Theme Park
- ▲ Theme/Water Park
- ★ Youth Fitness
- City of Orlando Jurisdiction

- Golf Course
- Health Club



**FIGURE R-9
PRIVATE MULTI-FAMILY RECREATION AMENITIES INVENTORY**

NAME	UNITS	LOCATION	RECREATIONAL AMENITIES									
			NONE	BB	EX	P	PL	RR	VB	RB	TN	
Adair Lake Villas	52	621 Lakeview Street	1									
Advantages at MetroWest	252	6201 Westgate Drive				2		1				1
Alhambra Country Club Apartments	240	4701 Sout Texas Avenue				1		1				
Alhambra Trace	95	5201 Via Alizir Drive				1						
Americana Villas	944	1801 Americana Blvd.				8	1	3				6
Anderson Oaks	12	708 East Anderson Street	1									
Antioch Manor	102	3850 Country Club Drive	1									
Ashley Pointe	200	4255 Barwood Drive				1						
Avalon	450	4219 South Semoran			1	2	1	1	1			1
Azalea Gardens Apts.	24	1611 East Robinson	1									
B and D	45	6031 Old Cheney Highway	1									
Baptist Terrace	197	414 East Pine Street			1							
Beaumont Townhomes	154	4401 Scenic Lake Drive			1			1	1			1
Belle Crest	260	1997 Dixie Belle Drive			1	1	1		1			1
Bermuda Dunes	336	7200 Westpointe Blvd.			1	1			1	1		1
Blossom Corners	137	2015 Raper Dairy Road	1									
Boca Club Apts.	230	3114 C R Smith Street	1									
Bocage Village	136	3572 Bocage Village			1	1		1				1
Bourdeaux Village	80	1750 Mercy Drive					1					
Briar Creek	386	5575 Rosebriar Way			1	2						1
Bristol Place at MetroWest	328	2101 Lake Debra Drive			1	1		1			1	1
Brittany at Rosemont	492	5200 North Orange Blossom Trail			2	2	1					2
Bunche Manor	24	800 South Tampa Avenue	1									
Callahan Oaks	40	659 West Jefferson Street	1									
Cameron Promenade	212	4000 Maguire Boulevard			1	1		1				
Carlisle at MetroWest	311	6432 Raleigh Street			1	1						
Carlyle Court	100	5900 Curry Ford Road			1	1						
Carmeron-Wellington	312	4000 Lake Underhill Drive			1	1						1
Carribbean Key	352	4700 Cason Cove Drive			1	2	1		1			
Carver Court	212	775 West Gore Street					1					
Catherine Booth Towers	125	601 West Colonial Boulevard						1				
Cedar Cove	418	4635 Cason Cove Drive		1		1		1	1	1		2
Cedar Place	188	1916 South Conway Road				1	1		1			
Center Park	296	4618 Middlebrook Road				1		1	1			2
Century 21	436	2250 North Semoran Blvd.			1	3		1		1		2
Christopher Columbus	60	1515 Catherine				1		1				
Citrus Square	87	5625 Hickory Drive					1					
Coconut Palms	296	4550 Middlebrook Road				1			1			2
Colonial Gardens	181	3008 Plaza Terrace Drive				2		1				
Colonial Grand at Kirkman	370	1601 South Kirkman Road			1	2	1		1	1		2
Colony Club Village	174	5917 Mustang Place				1	1					1
Commander Place Apts.	216	5289 Commander Place				1		1	1			
Concord Lake	32	306 Lakeview Street	1									
Conway Club	98	1900 South Conway Road				2	1					
Conway Station	242	2552 South Conway Road			1	1		1			1	1
Copper Terrace	300	1801 South Kirkman Road			1	1			1			1
Cornerstone	430	2409 South Conway Road				1	1	1			1	1
Country Place	200	5500 Fitness Circle			1		1					1

BB - Basketball, EX - Exercise Room, P - Pool, PL - Playground, RR - Recreation Room, VB - Volleyball, RB - Racquetball and TN - Tennis

1

**FIGURE R-9
PRIVATE MULTI-FAMILY RECREATION AMENITIES INVENTORY**

NAME	UNITS	LOCATION	RECREATIONAL AMENITIES									
			NONE	BB	EX	P	PL	RR	VB	RB	TN	
Courtney Landing	276	6590 Swissco Drive			1	1		1				
Courtney Place	238	4300 South Kirkman Road			1	1		1				
Crossroads Apts.	94	4381 Crossroad Court	1									
Cypress Greens	252	4820 Cypress Woods Drive			1	1					1	1
Cypress Key	360	5172 Conroy Road		1	1	2				1		1
Cypress Landings	244	5942 Winegard Road				2	1			1		2
Cypress Run	248	7100 GatesHead				1		1				
Danielle Village	40	5731 Danube Way	1									
Danube	126	600 Stonebridge Drive				1		1				
Delaney Apts.	8	507 Delaney Avenue	1									
Division Oaks	17	310 South Division Street	1									
Dixie Grove	44	1901 Watauga Avenue					1	1				
Dover Gardens	128	1448 Adriel Lane				1						
Dover Oaks	335	3700 Curry Ford Road			1	1	1					
Dover Village	296	5762 Folkstone Lake				2	1	1				2
Dovetail Villas	232	5914 Mausser Drive		1	1	1	1			1		
El Dorado	122	5520 Casa Blanca Lane						1				
Emerald Lake	12	901 Lake Emerald Drive	1									
Executive Resort	137	1200 Holden Avenue				2						2
Fisherman's Village	280	5800 Dolphin Drive		1	1	1	1	1	1			1
Fox Hollow	156	3536 Praire Fox Lane		1		1						
Gates of Harbortown	428	2333 Lake Debra Drive		1	1			1	1			
Governor's Manor	120	2861 L B McLeod Road				1	1					
Grand Reserve	338	6312 Bent Pine Drive		1	1	1		1	1			1
Greens at MetroWest	200	1658 South Hiawassee Road			1	1						
Griffin Park	198	520 Callahan Drive						1				
Grove Park	184	5317 Curry Ford Road				2	1	1				
Grove Park Properties	8	542 West Washington Street	1									
Hacienda	72	5210 Curry Ford Road				1	1					
Hampton Terrace	40	460 West Oak Ridge Road				1						
Harbor Pointe	600	5701 Five Flags Boulevard			1	2	1			1	1	2
Hawthorne Village	84	1221 Washington Street					1					
Heron's Cove	324	3312 South Semoran Boulevard			1	2	1			1		2
Hidden Lake	196	4150 Kirkman Road		1	1	1		1				
Highland Oaks	216	4739 North Pine Hills Road			1	1	1					
Hillcrest-Hampton Apts.	156	2000 Hillcrest Street			1							
Holden Gardens	30	720 Carter Street	1									
Holley Garden	258	3535 South Orange Avenue		1		2				1		
Hollowbrook	144	5465 Curry Ford Road				1	1					
Holly Garden	258	3435 South Orange Avenue		1		2				1		
HOPE Village	78	3000 Orange Center Boulevard	1									
Ivey Lane Homes Apts.	184	4405 Edgemoor Avenue					1					
Jackson Court	58	523 West Jackson Street				1						
Johnson Manor	40	4775 Curry Ford Road	1									
Kings Village	29	2009 West Washington Street	1									
Kinnerett I	168	515 South Delaney Avenue							1			
Kinnerett II	112	517 South Delaney Avenue			1				1			
La Costa Brava	194	710 East Michigan Street			1	2	1	1				

BB - Basketball, EX - Exercise Room, P - Pool, PL - Playground, RR - Recreation Room, VB - Volleyball, RB - Racquetball and TN - Tennis

**FIGURE R-9
PRIVATE MULTI-FAMILY RECREATION AMENITIES INVENTORY**

NAME	UNITS	LOCATION	RECREATIONAL AMENITIES									
			NONE	BB	EX	P	PL	RR	VB	RB	TN	
Lafayette Square	88	2751-94 L.B. McLeod Road				1						
Lake Davis	36	1303 Catherine Street	1									
Lake George	146	5244 Lake Margaret Drive		1	1	1		1	1		1	
Lake Ivanhoe Shores	92	1701 Gurtler Court			1							
Lake Lawsona I	6	1207 East Central Blvd.	1									
Lake Lawsona II	4	1208 East Central Blvd.		1								
Lake Lawsona III	4	1215 East Central Blvd.	1									
Lake Mann	189	701 South Ivey Lane		1				1	1			
Lake Mann Homes	210	624 Bethune Drive						1				
Lake Underhill Garden	42	5850 Lake Underhill Road	1									
Lakefront at MetroWest	544	1013 South Hiwassee Road			1	2		1			1	2
Lakes at Rosemont	200	4901 Bottlebrush Lane				1				1	1	
Lakeside Village	120	1734 Mercy Drive						1				
Landings at Timberland	240	5435 Timberleaf Boulevard		1		2	1	1				1
Landtree Crossings	220	3151 Landtree Place		1		1		1	1	1	1	2
Landtree Place	220	3149 Landtree Place				1		1	1	1	1	1
Lexington Park	252	6101 Westgate Drive			1	3		1				1
Lorna Doone	104	1617 West Central Blvd.						1				
Lucerne Gardens Apts.	17	200 South Lucerne Circle	1									
Lucerne Towers	157	20 West Lucerne Circle				1		1				
Madison Point	188	3006 South Rio Grande Ave				2	1					
Magnolia Towers	156	100 East Anderson Street	1									
Malibu Village	80	2912 Orange Center Blvd.	1									
Mallard Cove	344	2504 South Conway Road			1	3				1		1
Marina Landings	260	6201 Westgate Drive			1	1					1	
Martins Landing	419	4501 Landing Drive		1	1	1		1	1			1
Maxwell Terrace	202	2803 Arlington Street				1						
Meadow Lake	87	3546 Meadow Lake Drive						1				
MetroPlace	586	907 South Kirkman Road			2	2	2	2	2			
Mission Pointe	248	4800 Cason Cove Drive			1	1	1					
Montevista	360	6421 Conroy Road			1	1						2
Murchison Terrace	190	1201 Mable Butler Avenue						1				
Oak Apts.	50	3222 Catherine Street				1						
Oak Grove	86	4701 Walden Circle	1									
Oakwood	304	4708 Olive Branch Road			1	2					1	1
Omega Apts.	74	2811 Gamma Drive						1				
Orange-Orlando	165	5560 Curry Ford Road			1	1		1	1			1
Orange Manor	65	2205 Orange Center Blvd.	1									
Orlando Central Towers	198	350 East Jackson Street	1									
Orlando Clositers	101	757 South Orange Avenue	1									
Orlando Lutheran Towers	298	300 East Church Street	1									
Palm Apts.	256	1488 Mercy Drive						1				
Palm Bay	346	1977 South Semoran Blvd.			1	2	1	1				
Palm Grove	142	3920 Country Club Drive	1									
Palm Harbor	200	2100 South Conway Road				2	1	1	1			
Park Plaza	88	101 South Bumby Ave										
Park South	400	4700 Walden Circle			1	1		1	1			
Parkside By Post	244	431 East Central Blvd.			1	1						

BB - Basketball, EX - Exercise Room, P - Pool, PL - Playground, RR - Recreation Room, VB - Volleyball, RB - Racquetball and TN - Tennis

**FIGURE R-9
PRIVATE MULTI-FAMILY RECREATION AMENITIES INVENTORY**

NAME	UNITS	LOCATION	RECREATIONAL AMENITIES									
			NONE	BB	EX	P	PL	RR	VB	RB	TN	
Pendleton Park Villas	208	5953 Curry Ford Road			1	1						1
Peppertree Circle	40	1471 Mercy Drive					1					
Peppertree Shores	58	1008 Mercy Drive					1					
Pershing Pointe	144	4304 Pershing Pointe Place				1	1					
Pine Club	472	1401 Kirkman Road		1	1	2					1	1
Pines at Monterey	214	4401 South Kirkman Road				2				1		
Pineview	91	4731 North Pine Hills Road	1									
Polo's	144	5543 Gatlin Avenue				1		1				1
Post Fountains at Lee Vista	508	5743 Bent Pint Drive			1	2		1	1			2
Reeves Terrace	173	300 Reeves Court					1					
Riveria Villas	40	1625 Mercy Drive	1									
Riverwalk	552	5175 Cinderlane Parkway		1		2					2	2
Rosemont Country Club	120	5528B Cinderlane Parkway				1		1				
Sabal Palm at MetroWest	867	6101 Raleigh Street		2	2	4	2	2				2
San Marco Club	344	3997 Rosewood Way				2				1		1
Sandstone	200	4500 Silver Star Road				2	1					
Sawgrass	208	2859 South Conway Road			1	1					1	1
Seville Oaks	151	3432 South Semoran Blvd.				1				1		2
Shenandoah Station	188	5801 Shenandoah Way			1	1	1	1				
Siesta Lago	125	5400 East Michigan Street			1	1				1		1
Silver Terrace	164	2400 Rose Coral Drive	1									
Silverleaf Suites at Kirkman	222	5630 Monterey Drive				1	1			1		1
Silverpointe	272	7721 Silverpointe Boulevard				1	2					1
Sky Pines	140	4990 North Lane	1									
Southern Pines	208	5224 Long Road		1	1	1	1	1				
Spanish Oaks	42	5861 Stonewall Jackson	1									
St. Regis Apts.	44	319 East Church Street	1									
Sterling Crest	360	1935 South Kirkman Road				1	3	1		1		
Stone Mill Run	42	5123 Curry Ford Road				1		1				
Studio Concord Apts.	26	920 Concord Street	1									
Summerfield	224	4500 Kirkman Road				2	1			1		2
Summit at MetroWest	280	6410 Metrowest Blvd.				1	1	1		1	1	1
Sunpoint	96	5501 Conroy Road				1						
Sunscape	167	5974 Windhover Drive				1	2		1			
Sunset Landings	264	803 Don Quixote Avenue				1	1					
Sunview Terrace	26	301 South Division Ave.	1									
Tara Oaks	96	525 East Michigan Street				1						1
The Arbors at Lee Vista	338	5900 Bent Pine Drive				1	2			1	1	1
The Grove	232	2320 South Conway Road				1		1				
The Habitat	344	2404 South Conway Road				1	3		1			2
The Landings at Timberleaf	240	5447 Raleigh Street										
The Park at Lee Vista	492	5901 Bent Pine Drive				1	2		1			
The Pines	214	4401 South Kirkman Road					2			1		
The Resort at Lake Frederica	360	3211 South Semoran Blvd.				1	1			1		1
The Vineyard on Lake George	280	5300 Lake Margaret Drive		1	1	1		1	1	1		1
Timber Sound Apts.	240	4963 Raleigh Street				1				1		
Town & Country at Kirkman	370	1601 South Kirkman Road				1	2				1	1
Town & Country Twelve Oaks	560	6025 Oak Shadow Street				1	1		1			2

BB - Basketball, EX - Exercise Room, P - Pool, PL - Playground, RR - Recreation Room, VB - Volleyball, RB - Racquetball and TN - Tennis

**FIGURE R-9
PRIVATE MULTI-FAMILY RECREATION AMENITIES INVENTORY**

NAME	UNITS	LOCATION	RECREATIONAL AMENITIES									
			NONE	BB	EX	P	PL	RR	VB	RB	TN	
Tuscany Bay	396	5870 Sundown Circle			1	2				1		
Valencia Plantation	194	4928 East Michigan Street			1	2		1				1
Ventura Landings	184	6203 Curry Ford Road		1		1				1		1
Versailles at Rosemont	236	4030 Dijon Drive				1		1				2
Vestavia Lakes	90	1100 South Delaney Ave				1		1				
Victoria Point	420	6058 Westgate Drive		1	1	2		1			1	1
Walden Woods	62	4735 Walden Circle	1									
Waldengreen	278	4767A Walden Circle			1	1		1				
Washington Shores	256	2041 Orange Center Blvd.						1				
Watauga Woods	216	1629 Watauga Avenue			1	1		1				
Waterford Club	364	2528 Trent Jones Way			1	1				1		
Waterview Club	172	4901 Cason Cove Drive			1	1	1			1		
West Winds	272	5230 East Winds Drive		1		1	1	1			1	1
Westminster Towers	273	70 West Lucerne Circle			1	1		1				
Whitney Groves	94	1638 Crystal Lake Drive				1	1					
William Booth Towers	168	633 Lake Dot Circle						1				
Willowbend	192	4757 Silver Star Road				1	1			1		1
Windermere Lakes	276	5993 Oakshadow Street			1	2		1				1
Windover Health Club	200	5496 Fitness Circle			1	1		1				1
Windrift Apts.	288	949 Crowsnest Circle		1	1	1		1	1			1
Windscape	144	5300 Cinderlane Parkway				1	1					1
Windsor at Kirkman	460	5584 Metrowest Boulevard			1	3		1	1			2
Windward Apts.	68	1744 Bowen Drive				1		1				
Winewood	133	4209 East Michigan Street						1				
Wingwood Apts.	86	5749 St. Charles Prado	1									
Woodlake Villas	284	720 South Conway Road				2		1				3
TOTALS	43,383		42	27	87	191	63	74	53	24	94	

BB - Basketball, EX - Exercise Room, P - Pool, PL - Playground, RR - Recreation Room, VB - Volleyball, RB - Racquetball and
TN - Tennis

2.H. OPEN SPACE INVENTORY

Open space has traditionally been associated with the enhancement of the perceived qualities of the natural landscape. In its broadest definition, the term open space may also be said to include the entire range of space types that allow unobstructed physical movement. Quite often, these spaces are only accessible through visual contact. Sometimes, as within the City of Orlando, these areas are found in conjunction with high intensity urban uses.

Open space varies in size and may take the form of air, land, or water surfaces. It is the green space prevalent around cities, including parks, golf courses, agricultural lands, playgrounds, and vacant land. It is the area covered by lakes, streams, and canals. It is also the parkways, airport clear zones, and rail-road rights-of-way. It is all vacant land not yet committed to development. It is both privately and publicly owned.

The single most important factor currently influencing open space and recreation in the Orlando area is growth. Increases in population result in the replacement of open space areas with urban development and an increase in the demand for recreational facilities. More than ever, people are finding Orlando an attractive area to visit or settle permanently, largely because of its climate, natural features, and propensity for outdoor living and recreational activities.

There are two types of land that have been cataloged as open space by the City of Orlando. These include park land and resource protected lands. At present, the City of Orlando has a total of 3,929.03 acres of park land (including undeveloped park land), and according to the 2007 Annual Certification Report, there are 11,464 acres of conservation which include wetlands, lakes and other protected resources. Thus, in total, there are 15,393.03 land acres in the open space inventory; lands which are either regulated by the City of Orlando or lands exhibiting environmental characteristics that preclude development. Also included in the open space inventory are the many lakes which help to define the urban form. Presently, there are 6,760 water acres within the City of Orlando. (Vacant land, such as disturbed urban land, which is not resource protected has been excluded from the open space inventory.)

The City of Orlando has chosen to develop a level of service standard for City-wide open space. Per Recreation Policy 1.1.2, the LOS standard for open space is based on a percentage of the City's total land area rather than the acreage per 1,000 population method used for community and neighborhood parks. The City has set a level of service standard for open space of 20% of the City's total land area. The 20% figure was chosen because it allows for some fluctuation to occur over time. It should also be noted that the open space standard is to be used as a general guideline, rather than as a concurrency requirement. As of 2008, the City of Orlando contained approximately 111.07 square miles and had an actual level of service for open space of 21.83%, with the inclusion of all park land, wetlands and water acres.

In 2005, the City adopted the Wekiva Overlay Future Land Use Designation as part of the Future Land Use Element of the GMP. It is noted that the Wekiva Overlay, which covers much of the

northwest portion of the City of Orlando, requires residential subdivisions of at least 5 acres in size to provide open space within at least 20% of the gross development area.

The City of Orlando is dedicated to protecting areas which exhibit unique environmental qualities. While the current amount of open space available is acceptable, it is obvious that as the City grows, additional open space lands will need to be acquired or provided to maintain the level of service standard. Orlando's future livability is dependent upon building on the present base by acquiring additional open space land to be used as parks or as resource protected areas left in their natural state. This will be accomplished through individual park projects and the continued development of the Primary Conservation Network concept in the Southeast Orlando Sector Plan area.



Bike to Work Day



Environmental Enhancement Activities at Clear Lake and Lake Orlando

3. RECREATION AND OPEN SPACE ANALYSIS -

3.A. EXISTING LEVEL OF SERVICE FOR PARKS

On a City-wide basis, the citizens of Orlando (June 30, 2008 Population = 237,679) are well served by the existing number and acreage of park sites, as presented in Figure R-10. The City of Orlando has a total inventory of 3,067.76 acres of developed park land. If all of this park land were included in the level of service analysis, it would show that the City has an existing level of service of 12.91 acres per 1,000 population. However, this number includes Major Sports, Performing Arts, and Special Facilities. Those major facilities, because of their regional nature, are not acreage-dependent. Also, it is debatable whether the Orlando Wetlands Park should be included in any level of service discussion, because of its remote location - well outside of the City's corporate limits. Figure R-10 also shows the separate and combined existing City-wide park level of service for Community and Neighborhood Parks, which is a more appropriate measure of levels of service.

FIGURE R-10: 2008 CITY-WIDE ACTUAL PARK LEVELS OF SERVICE

	Existing Acreage	Actual Existing Level of Service
All Developed Park Land	3,067.76	12.91 Acres per 1,000 pop.
Combined Community and Neighborhood Park Land	1,722.96	7.25 Acres per 1,000 pop.
Community Parks	1,140.05	4.80 Acres per 1,000 pop.
Neighborhood Parks	582.91	2.45 Acres per 1,000 pop.

*Source: City of Orlando Economic Development Department, Planning Division, August 2008.
Data based on Figure R-1 and an estimated June 30, 2008 population of 237,679.*

3.B. ADOPTED LEVEL OF SERVICE STANDARDS FOR PARKS

In order to determine the City's ability to meet current and future recreation and open space needs, standards for the provision of these services must be defined. This standard must meet two general criteria: 1) the level of service should be adequate for the existing and future population and by reflecting the policies of the City; and, 2) meeting this level of service standard must be financially feasible.

For the purpose of analysis, the publicly-provided recreation and open space inventory previously discussed was divided into park facilities which require a certain acreage of park land per 1,000 population and those classifications which are provided on an available resource basis. The two park classifications used for the analysis of level of service are Neighborhood Parks and Community Parks. Major Sports, Performing Arts and Special Facilities, and Undeveloped Parks do not have adopted LOS standards.

The City of Orlando has developed a City-wide level of service standard of 3.25 acres per 1,000 population for Community and Neighborhood Parks combined. The City recognizes that setting a City-wide level of service may cause certain deficient areas to be overlooked. Therefore, the

City of Orlando has established minimum LOS acreage standards for individual Community and Neighborhood park service areas. These minimum acreage standards have been used to identify the general areas where new Community and Neighborhood parks should be located. These standards can be found in Figure R-11.

FIGURE R-11: ADOPTED PARK LEVEL OF SERVICE STANDARDS

Park Type	Acres Per 1,000 Population
City-wide Combined Community & Neighborhood Parks	3.25 Acres/1,000
Community Park Sectors	1.3 Acres/1,000
Neighborhood Park Service Areas	0.75 Acres/1000

3.C. CITY-WIDE PARK LAND – NEEDS ANALYSIS

The current and projected City-wide need for Community and Neighborhood level park land was analyzed by using the following equation:

$$\text{Community and Neighborhood Parks Combined} = \text{Population}/1000 * 3.25.$$

Figure R-12 presents baseline (2006), current (June 30, 2008) and future park conditions at the City-wide level. Figure R-12 includes assumed new park acquisition and development unlike Figure R-1 which assumes no new park development or the worst case scenario. In order to ensure consistency throughout the GMP, the projected out-year conditions go out to 2030 using the same population projections provided in Future Land Use Element Figure LU-9. Projected park acreage for later years are reflective of the City’s adopted Capital Improvements Element and Program. It is noted that changes to these projections are likely over time based on economic conditions, funding priorities and policy changes.

FIGURE R-12: CITY-WIDE PARK LAND - EXISTING AND FUTURE CONDITIONS

Time Period	Existing & Projected Park Acreage	City Population	Required Acreage (3.25/1000)	Acreage Demand or Surplus (No New Parks)	Acreage Demand or Surplus (Including Programmed Improvements)
2006	1,722.96	224,055	728.18	994.78	994.78
2008	1,722.96	237,679	772.46	950.50	950.50
2010	1,722.96	267,399	869.05	853.91	853.91
2015	1,857.68	297,190	965.87	757.09	891.81
2020	1,909.68	317,760	1,032.72	690.24	876.96
2025	1,909.68	324,101	1,053.33	669.63	856.35
2030	1,912.68	333,665	1,084.41	638.55	828.27

Source: City of Orlando Planning Division, April 24, 2009.

Using the City-wide LOS standard of 3.25 acres per 1,000 population, Orlando is currently registering a City-wide surplus of 950.50 acres of combined Community and Neighborhood level park land (June 30, 2008). If no new parks were built (the worst case scenario), the City-wide surplus would decrease to 853.91 acres in 2010, 690.24 acres in 2020, and 638.55 acres in 2030. However, with additional park projects programmed for completion in the GMP Capital Improvements Element (CIE) and Capital Improvement Program (CIP), and other publicly and privately funded park facilities in Baldwin Park and the Southeast Orlando Sector Plan area, it is anticipated that a substantial City-wide surplus, exceeding 800 acres, will be maintained through the year 2030.

As detailed in the Parks and Recreation CIE for 2007-2017, the following projects were identified and the acreage was added to the programmed improvements noted above.

- an 80 acre site in Community Park Sector 5 (SE Regional Parks Complex)
- a 3 acre Neighborhood Park in Neighborhood Park Service Area-21 (Randall Park), and
- a 50 acre Community Park in Community Park Sector Area 5 (Lake Nona). In 2020, two additional Community Parks should be added.

After 2017, one 35 acre Community Park should be added to Community Park Sector 6 while another 7 acre Neighborhood Park should be added to Southport Community Park in Community Park Sector Area 4. Finally in 2030, a 3 acre Neighborhood Park should be added to Neighborhood Park Service Area 18.

Although the City of Orlando has sufficient acreage per 1,000 population on a City-wide basis, the key issue when dealing with levels of service is the location of these acres of park land. Are all neighborhoods and communities being adequately served? This question addresses another issue, that is, the duplication of services. There are parts of the City which have a clustering of facilities and parts of the City with almost no resources. New park sites need to be strategically located to provide convenience and equity in the provision of service. The community and neighborhood park service area analysis that follows will be used to guide the provision of park services for the City of Orlando for the entire planning period. By correcting park demand problems at the service area level, the City-wide level of service will also be maintained throughout the planning period.

In order to develop individual park service areas for analysis purposes, each community and neighborhood park was drawn on a traffic analysis zone (TAZ) map. A service radius of 1 mile for neighborhood parks and 3 miles for community parks was drawn on the map from the location of each park site. These geographic areas were modified to conform to traffic zone boundaries, and became the basis for the delineation of community and neighborhood park service areas. Population served by that site was determined using existing population estimates and future population projections for each whole traffic zone served by a particular park site. Figures R-13 and R-14 were prepared to display and calculate future conditions based on service area population using the following equations:

- Neighborhood Park = Service Area Population / 1000 * 0.75 acres
- Community Park = Service Area Population / 1000 * 1.3 acres

In determining the area served by a particular park site, an additional factor was taken into consideration - natural and man-made barriers to accessibility. For example, it was assumed that one would not cross a major highway or expressway to visit a neighborhood park.

Each of the community and neighborhood park service areas were examined by population and acreage needs through the year 2030. Figures R-13 and R-14 essentially relate a worst-case scenario for future years and do not show anticipated increased capacity associated with funded park projects. However, the City's strategy for correcting LOS deficiencies and enhancing existing surpluses in those park service areas will be discussed in the following section of this Element.

3.D. COMMUNITY PARK LAND – NEEDS ANALYSIS

The City of Orlando has a large disparity in community park coverage. In an effort to gauge or target trouble areas or areas of greatest need, community park service areas were delineated using a service radius of approximately three (3) miles. Because of substantial overlap between park service areas, six sectors were identified. The six sectors, shown on Figures R-4A through R-4E are generally consistent with the 3 mile service radius concept.

In general, the LOS status for individual Community Park Sectors 1 through 5 is excellent, with surpluses ranging from 34.79 acres in Southeast Sector 5 to 243.67 acres in Northwest Sector 3 (April 1, 2006 Baseline). While these areas of the City appear to be well served from an acreage standpoint, the level of service in each should be enhanced with additional activity-based facilities including little league baseball fields, softball fields, and soccer/multi-purpose fields as resources allow.

Sector 1 - Northwest Area

Community Park Sector #1 includes all City land north of the East-West Expressway and west of Interstate 4. Community Parks in this sector include Callahan Neighborhood Center/Park, the Downtown Recreation Center, Dubsdread Golf Course, Emery Hamilton Sports Complex, Lake Fairview Park, and Trotter's Park. Orange County's Barnett Park, a nearby regional sports facility, is not counted in the City's LOS calculations. Figure R-4A graphically displays parks in the northwest Sector.

The April 1, 2006 baseline population estimate for this Sector was 38,934. Using the 1.3 acre per 1000 population minimum LOS acreage standard, 50.61 acres of community level park land are required by this sector's population. City park acreage in this area equals 277.79 acres. As of April 1, 2006, Northwest Sector 1 had a surplus of 227.18 acres. Using the population projections formulated by City staff, this Sector will have a surplus of at least 215.09 acres through 2030.

The northwest Sector of the City is characterized by several different demographic populations. In the northern part of this sector are a number of mature, established neighborhoods such as College Park, Palomar, and Spring Lake. These neighborhoods are made up of primarily moderate to high income individuals and families. Within these areas, residential growth has consisted mostly of single family infill, with some multifamily intensification within College Park (along Edgewater Drive, in particular), and additional growth in the Rosemont area. While the Rosemont neighborhood, located around Lake Orlando, had been a high growth area during the 1990's, future growth is anticipated to be modest. Housing stock in this area is mixed with affordable multifamily developments and moderate to expensive single family homes. These neighborhoods appear to be fairly well served by the Lake Fairview Park facility and the City's recently renovated Trotter's Park. While the Emery Hamilton Sports Complex plays a role in providing recreational amenities in this sector it is antiquated and needs to be updated.

In the southern portion of this Sector are a number of low to moderate income neighborhoods which are undergoing modest revitalization. The Callahan, Lorna Doone, Holden-Parramore, and Rock Lake neighborhoods are a mixture of lower-income long term homeowners and multifamily renters of both single family and multifamily dwelling units. Most of this area is well-served by the Callahan Neighborhood Center and Downtown Recreation Center.

It should be noted that the overall Community Park LOS in this sector has been enhanced by the development of Trotter's Park, one of the City's four new cornerstone parks. Originally the home of the Ben White Raceway, this site's facilities reflect an historical equestrian theme. Developed in January 2003, the 93 acre site encompasses four lighted soccer fields, four lighted baseball fields, restroom and concession facilities, biking and inline skating trails. Approximately 20 acres of the property are dedicated to equestrian facilities for both therapeutic and recreational riding. The City has also recently completed renovations to the historic Dubsdread Golf Course, a City-owned golf course located in the College Park neighborhood.

**FIGURE R-13
COMMUNITY PARK ACREAGE CAPACITY**

ACRES	April 1, 2006 Baseline			2010			2015			2020			2025			2030			
	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	
SECTOR 1 - NORTHWEST	277.79																		
Callahan Neighborhood Center/Park	3.90																		
Downtown Recreation Center	14.49																		
Dubsread Golf Course	117.00																		
Emery Hamilton Sports Complex (W Colonial Rec Complex)	25.50																		
Lake Fairview Park	23.00																		
Trotters Park (Former Ben White)	93.90																		
SECTOR 2 - NORTHEAST	277.43	25,973	33.76	243.67	36,974	48.07	229.36	40,246	52.32	225.11	41,837	54.39	223.04	43,003	55.90	221.53	44,411	57.73	219.70
Baldwin Park (Unit 3/Village Center - Harbor Park)	2.00																		
Baldwin Park (Lake Baldwin Shoreline)	27.69																		
Blue Jacket Park (Baldwin Park, Unit 4, Tract 178)	49.00																		
Blue Jacket Park (Baldwin Park, Unit 4, Tract 179)	5.61																		
Blue Jacket Park (Baldwin Park, Unit 4, Tract 191)	6.50																		
Cady Way Bike Trail (Linear Park)	8.20																		
Colonialtown Neighborhood Center	2.10																		
Gaston Edwards Park	6.20																		
Heritage Square (Orange County History Center)	2.34																		
Langford Park	18.97																		
Leu (Harry P.) Botanical Gardens	55.80																		
Loch Haven Park (Inc. Ori Museum of Art, Science Ctr, Mannello)	48.50																		
Mark Street Senior Center	2.37																		
Orlando Festival Park	8.27																		
Orlando Skate Park	5.33																		
Park of the Americas (formerly Orlando Nature Park)	28.55																		
SECTOR 3 - SOUTHWEST	322.53	73,940	96.12	226.41	85,217	110.78	211.75	92,323	120.02	202.51	97,492	126.74	195.79	99,800	129.74	192.79	102,173	132.82	189.71
Bill Frederick Park at Turkey Lake	173.00																		
Claudia Allen Senior Center	3.20																		
Clear Lake Park	24.00																		
Dr. Smith Recreation Center	17.00																		
Eagle Nest Park	50.00																		
Hankins Park	16.34																		
John H. Jackson Recreation Center	6.30																		
Lake Fran Bike Trail (Linear Park)	4.85																		
Orlando Sports Complex	27.84																		
SECTOR 4 - SOUTHEAST	213.54	72,751	94.58	118.96	76,116	98.95	114.59	78,249	101.72	111.82	79,278	108.06	110.48	79,415	103.24	110.30	80,638	104.88	108.71
Demetree Park	24.60																		
Englewood Neighborhood Center/School	10.10																		
Greenwood Cemetery	82.00																		
Greenwood Urban Wetland	18.97																		
LaCosta Urban Wetland	20.99																		
Lake Underhill Shoreline Park	8.80																		
Mayor Beardall Park	3.08																		
Southport Community Park	45.00																		
SECTOR 5 - SOUTHEAST	41.38	5,067	6.59	34.79	16,552	21.52	19.86	27,478	35.72	5.66	37,251	48.43	-7.05	37,859	49.22	-7.84	38,466	50.01	-8.63
EastPark N-5 (Park #4)	1.17																		
EastPark N-5 (Park #7)	6.54																		
EastPark N-5 (Park #8)	1.41																		
NorthLake Park Community School/YMCA	21.60																		

**FIGURE R-13
COMMUNITY PARK ACREAGE CAPACITY**

ACRES	April 1, 2006 Baseline			2010			2015			2020			2025			2030			
	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	POPULATION	ACRES NEEDED	(DEMAND) OR SURPLUS	
Southeast Bike Trail (Nona N-1 & N-3 Portion)	4.71																		
Southeast Bike Trail (Nona N-5 Portion)	5.95																		
SECTOR 6 - VISTA EAST	7.38	7,388	9.60	-2.22	11,495	14.94	-7.56	13,534	17.59	-10.21	15,096	19.62	-12.24	16,657	21.65	-14.27	18,696	24.30	-16.92
Vista Lakes Community Center	7.38																		
Total Community Park Acreage	1,140.05																		

Prepared by City of Orlando City Planning Division, April 23, 2009.

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	April 1, 2006 Baseline			2010			2015			
	ACRES	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 1	23.68	11,994	9.00	14.68	12,005	9.00	14.68	12,005	9.00	14.68
Lighthouse Park	3.52									
Rosemont Community Area	7.51									
Rosemont Park/Tot-Lot	1.27									
Rosemont Sports Fields/Community Ctr	11.38									
SERVICE AREA 2	9.20	3,218	2.41	6.79	3,364	2.52	6.68	3,364	2.52	6.68
Signal Hill Park	7.30									
Willows Park	1.9									
SERVICE AREA 3	27.72	3,456	2.59	25.13	4,748	3.56	24.16	6,147	4.61	23.11
Lake Lawne Park (Joint City/County)	2.20									
Mercy Drive Playground (Childrens Safety Village)	9.22									
NW Community Center	16.30									
SERVICE AREA 4	38.46	11,830	8.87	29.59	12,285	9.21	29.25	13,147	9.86	28.60
Albert Park (aka First Park)	0.52									
College Park Community Center	1.14									
Dartmouth Park	3.24									
Guernsey Park	2.78									
Ivanhoe Plaza Park	4.50									
Lake Adair	3.25									
Lake Concord (Don Dudley)	2.71									
Lake Ivanhoe	11.20									
Mathews Park	4.20									
Overbrook Park	1.65									
Princeton Park Playground	3.27									
SERVICE AREA 5	22.25	5,349	4.01	18.24	6,945	5.21	17.04	8,419	6.31	15.94
Beth Johnson Park	1.20									
Big Tree Park	0.70									
Lake Estelle	2.70									
Lake Formosa	1.40									
Lake Highland Park	3.61									
Lake Rowena	1.70									
Loch Haven Neigh. Ctr.	4.20									
Orlando Cultural Park (former USDA)	3.52									
Orwin Manor Green	0.19									
Orwin Manor/Westminster Green	0.45									
Park Lake	2.58									
SERVICE AREA 6	9.50	5,395	4.05	5.45	5,394	4.05	5.45	5,396	4.05	5.45
Audubon Park (OCPS)	7.50									
Colonialtown Square	0.50									
Iowa Place Park	0.36									
Mitchell Nutter Park	0.96									
Songbird Park	0.18									
SERVICE AREA 7 Total	36.12	7,479	5.61	30.51	7,296	5.47	30.65	8,314	6.24	29.88
Florida A&M School of Law Green	0.45									
Lake Dot	2.00									
Lorna Doone Park	16.26									
Parramore Heritage Central Park	2.30									
Riley Park	0.57									
Rock Lake Park	14.54									

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	ACRES	April 1, 2006 Baseline			2010			2015		
		Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 8	33.98	10,078	7.56	26.42	13,886	10.41	23.57	15,682	11.76	22.22
Cherry Tree Park	0.96									
Constitution Green	1.00									
Dickson Azalea Park	3.40									
East Central Neighborhood Center	0.70									
Gertrude's Walk	0.47									
Hampton Park	1.42									
Howard Middle School	3.69									
Kittenger Park (was 5.5 acres)	5.50									
Lake Eola Park	13.48									
Lake Lawsona	1.94									
Orlando City Hall Urban Park	1.10									
Wall Street Plaza	0.32									
SERVICE AREA 9	11.60	924	0.69	10.91	992	0.74	10.86	992	0.74	10.86
Azalea Park (OCPS; JUA expired)	11.60									
SERVICE AREA 10	19.33	19,581	14.69	4.64	21,565	16.17	3.16	22,457	16.84	2.49
Fairview Cove Green	3.94									
MetroWest Country Club	2.60									
Palma Vista Green	0.41									
Park Avenue at Metrowest	1.34									
Stonebridge Commons Open Space/Green	10.20									
Westchester Open Space/Green	0.84									
SERVICE AREA 11	16.57	19,747	14.81	1.76	20,022	15.02	1.55	20,034	15.03	1.54
Ivey Lane Park	8.75									
Lace Fern Village Park	0.32									
Malibu Groves Park (Tot Lot)	0.20									
Pleasant Valley Park	1.60									
Poppy Park	2.30									
Willie Mays Park	3.40									
SERVICE AREA 12	27.26	11,719	8.79	18.47	11,901	8.93	18.33	11,609	8.71	18.55
George Barker Park	7.00									
Gilbert McQueen Park	6.61									
Grand Avenue Park	8.65									
Isle of Catalina (Private)	0.86									
Lizzie Rogers Park	3.14									
Washington Shores	1									
SERVICE AREA 13	52.55	11,113	8.33	44.22	11,930	8.95	43.60	12,327	9.25	43.30
Al Coith Park	6.10									
Cherokee Park	3.10									
Delaney Park Playground	7.23									
Lake Beauty Park	0.56									
Lake Cherokee Shoreline Park	3.80									
Lake Como	4.45									
Lake Davis	3.52									
Lake Emerald	0.28									
Lake Lancaster	0.79									
Lake Lucerne	3.20									
Lake Weldon	0.48									
Mayfair Green	0.20									
Southern Gateway Park	0.29									
Wadeview Park/Boone Pool	18.55									

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	April 1, 2006 Baseline				2010			2015		
	ACRES	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 14	24.09	30,519	22.89	1.20	30,597	22.95	1.14	30,653	22.99	1.10
Bryn Mawr Recreation Area	4.00									
Citrus Square Recreation Site	0.20									
Com o Elementary Playground & Fields	6.50									
Dover Estates Linear Park	0.20									
Dover Shores Neighborhood Center	8.43									
Lake Dover	0.40									
West Lake Underhill Park	4.36									
SERVICE AREA 15	22.30	8,471	6.35	15.95	8,471	6.35	15.95	8,471	6.35	15.95
Englewood Park	6.80									
Leroy Hoequist Park	15.50									
SERVICE AREA 16	65.91	4,224	3.17	62.74	9,754	7.32	58.59	9,754	7.32	58.59
Baldwin Park (Unit 1, Tract 7)	2.76									
Baldwin Park (Unit 1, Tract 2)	5.16									
Baldwin Park (Unit 1, Fox Street)	7.08									
Baldwin Park (Unit 1, Enders Park)	3.45									
Baldwin Park (Unit 2, Tract 71)	1.06									
Baldwin Park (Unit 2, Tract 72)	2.68									
Baldwin Park (Unit 2, Elem. School Park)	2.86									
Baldwin Park (Unit 4, Tract 180)	1.25									
Baldwin Park (Unit 4, Tract 181)	2.02									
Baldwin Park (Unit 4, Tract 182)	0.97									
Baldwin Park (Unit 6, Tract 203)	2.55									
Baldwin Park (Unit 7, Tract 244)	3.78									
Baldwin Park (Unit 7, Tract 245)	1.11									
Baldwin Park (Unit 7, Tract 246)	0.31									
Baldwin Park (Unit 7, Tract 247)	0.51									
Baldwin Park (Unit 7, Tract 255)	0.53									
Baldwin Park (Unit 8A, Tract 315)	1.07									
Baldwin Park (Unit 8A, Tract 314)	1.63									
Baldwin Park (Unit 8A, Tract 310)	0.56									
Baldwin Park (Unit 8A, Tract 313)	0.20									
Baldwin Park (Unit 9A, Tract 259)	6.26									
Baldwin Park (Unit 9A, Tract 285)	5.59									
Baldwin Park (Unit 9A, Tract 289)	0.69									
Baldwin Park (Unit 9B, Cady Way)	1.31									
Baldwin Park (Unit 10, Tract 393)	0.83									
Baldwin Park (Unit 10, Tract 392)	7.68									
Baldwin Park (Unit 10, Tract 391)	2.01									
SERVICE AREA 17	35.50	2,148	1.61	33.89	2,796	2.10	33.40	2,796	2.10	33.40
Airport Lake Park	35.50									
SERVICE AREA 18	5.43	7,408	5.56	-0.13	8,504	6.38	-0.95	8,873	6.65	-1.22
McCoy Ele. Park	5.43									
SERVICE AREA 19	12.95	6,246	4.68	8.27	7,765	5.82	7.13	7,765	5.82	7.13
Amhurst Park (Vista Lakes PD)	7.58									
Milford Haven Green (Vista Lakes PD)	0.23									
Tivoli Woods PD Tract B	1.33									
Tivoli Woods PD Tract I	0.78									
Tivoli Woods PD Tract Y	0.89									
Tivoli Woods PD Tract F	1.69									
Tivoli Woods PD Tract E	0.45									
SERVICE AREA 20	3.45	1,142	0.86	2.59	3,730	2.80	0.65	5,769	4.33	-0.88
LeeVista Square Tract U (Crownree)	0.28									
Tivoli Gardens N Park 1 (Crownree)	0.50									
Tivoli Gardens N Park 2 (Crownree)	0.27									
Vista Lakes Tot Lot/Lakeshore Park	2.40									

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	ACRES	April 1, 2006 Baseline			2010			2015		
		Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 21	6.71	2,875	2.16	4.55	7,560	5.67	1.04	9,482	7.11	-0.40
EastPark PD N-1 Neighborhood Park	0.63									
East Park PD N-3 Tract G Neigh. Park	0.75									
EastPark PD N-5 Neighborhood Park #2	1.53									
EastPark PD N-7 Neighborhood Park #1	0.34									
Lake Nona Preserve Tract D (Gated)	0.39									
LaVina PD Tract AA (Tot Lot; Gated)	0.31									
LaVina PD Tract L (Tot Lot; Gated)	0.44									
LaVina PD Tract P (Lakeshore Trail; Gated)	1.15									
LaVina PD Tract M	0.19									
NonaCrest Neighborhood Park (Gated)	0.98									
SERVICE AREA 22	41.80	2,082	1.56	40.24	4,692	3.52	38.28	5,119	3.84	37.96
Lake Nona Estates (Gated)	2.90									
NorthLake Park (N-1, Magnolia Green)	0.45									
NorthLake Park (N-2A, Glatting Green)	0.80									
NorthLake Park (N-2B, Azalea Place 1)	1.34									
NorthLake Park (N-2B, Azalea Place 2)	0.75									
NorthLake Park (N-2B, Azalea Place 3)	0.67									
NorthLake Park (N-2, Sunbonnet Tot Lot)	1.36									
NorthLake Park (N-3B, Morningside)	2.83									
NorthLake Park (N-4, Enclave Green)	2.88									
NorthLake Park (N-5, Green Dock Park)	4.29									
NorthLake Park (N-5, Water's Edge Ctr)	5.05									
NorthLake Park (N-5, Boat Launch Park)	2.95									
NorthLake Park (Parkway Green)	2.57									
NorthLake Park (Entry Pond/Ped Trail)	12.96									
SERVICE AREA 23	6.37	110	0.08	6.29	2,527	1.90	4.47	4,539	3.40	2.97
Divosta VillageWalk Resid. Center	6.37									
SERVICE AREA 24	0.00	0	0.00	0.00	1,773	1.33	-1.33	8,338	6.25	-6.25
SERVICE AREA 25	6.57	1,881	1.41	5.16	2,166	1.62	4.95	3,477	2.61	3.96
Southport Pool #1 - North	2.43									
Southport Pool #2 - South	2.84									
Southport Recreation Center - Central	1.30									
STUDY AREA A	0.73	954	0.72	0.01	995	0.75	-0.02	1,016	0.76	-0.03
Spring Lake Park	0.73									
STUDY AREA B	0.00	11,599	8.70	-8.70	12,258	9.19	-9.19	13,032	9.77	-9.77
STUDY AREA C	2.00	3,945	2.96	-0.96	3,947	2.96	-0.96	3,947	2.96	-0.96
Hidden Beach (Private Park)	2.00									
STUDY AREA D	12.88	10,028	7.52	5.36	10,165	7.62	5.26	10,165	7.62	5.26
Ventura PD (Gated)	12.88									
STUDY AREA E	0.00	1,006	0.75	-0.75	1,006	0.75	-0.75	1,006	0.75	-0.75
STUDY AREA F	8.00	6,791	5.09	2.91	11,810	8.86	-0.86	16,263	12.20	-4.20
Park Central (Gated)	8.00									
STUDY AREA G	0.00	558	0.42	-0.42	3,714	2.79	-2.79	6,195	4.65	-4.65
Total Neighborhood Park Acreage	582.91									

Prepared by City of Orlando City Planning Division, April 23, 2009.

FIGURE R-14 : NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	ACRES	2020			2025			2030		
		Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 1	23.68	12,026	9.02	14.66	12,026	9.02	14.66	12,026	9.02	14.66
Lighthouse Park	3.52									
Rosemont Community Area	7.51									
Rosemont Park/Tot-Lot	1.27									
Rosemont Sports Fields/Community Ctr	11.38									
SERVICE AREA 2	9.20	3,364	2.52	6.68	3,364	2.52	6.68	3,364	2.52	6.68
Signal Hill Park	7.30									
Willows Park	1.9									
SERVICE AREA 3	27.72	6,250	4.69	23.03	6,250	4.69	23.03	6,250	4.69	23.03
Lake Lawne Park (Joint City/County)	2.20									
Mercy Drive Playground (Childrens Safety Village)	9.22									
NW Community Center	16.30									
SERVICE AREA 4	38.46	13,184	9.89	28.57	13,242	9.93	28.53	13,662	10.25	28.21
Albert Park (aka First Park)	0.52									
College Park Community Center	1.14									
Dartmouth Park	3.24									
Guernsey Park	2.78									
Ivanhoe Plaza Park	4.50									
Lake Adair	3.25									
Lake Concord (Don Dudley)	2.71									
Lake Ivanhoe	11.20									
Mathews Park	4.20									
Overbrook Park	1.65									
Princeton Park Playground	3.27									
SERVICE AREA 5	22.25	9,055	6.79	15.46	10,214	7.66	14.59	11,350	8.51	13.74
Beth Johnson Park	1.20									
Big Tree Park	0.70									
Lake Estelle	2.70									
Lake Formosa	1.40									
Lake Highland Park	3.61									
Lake Rowena	1.70									
Loch Haven Neigh. Ctr.	4.20									
Orlando Cultural Park (former USDA)	3.52									
Orwin Manor Green	0.19									
Orwin Manor/Westminster Green	0.45									
Park Lake	2.58									
SERVICE AREA 6	9.50	5,400	4.05	5.45	5,400	4.05	5.45	5,402	4.05	5.45
Audubon Park (OCPS)	7.50									
Colonialtown Square	0.50									
Iowa Place Park	0.36									
Mitchell Nutter Park	0.96									
Songbird Park	0.18									
SERVICE AREA 7 Total	36.12	9,649	7.24	28.88	10,663	8.00	28.12	11,878	8.91	27.21
Florida A&M School of Law Green	0.45									
Lake Dot	2.00									
Lorna Doone Park	16.26									
Parramore Heritage Central Park	2.30									
Riley Park	0.57									
Rock Lake Park	14.54									

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	ACRES	2020			2025			2030		
		Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 8	33.98	16,630	12.47	21.51	16,637	12.48	21.50	17,277	12.96	21.02
Cherry Tree Park	0.96									
Constitution Green	1.00									
Dickson Azalea Park	3.40									
East Central Neighborhood Center	0.70									
Gertrude's Walk	0.47									
Hampton Park	1.42									
Howard Middle School	3.69									
Kittenger Park (was 5.5 acres)	5.50									
Lake Eola Park	13.48									
Lake Lawsona	1.94									
Orlando City Hall Urban Park	1.10									
Wall Street Plaza	0.32									
SERVICE AREA 9	11.60	995	0.75	10.85	995	0.75	10.85	995	0.75	10.85
Azalea Park (OCPS; JUA expired)	11.60									
SERVICE AREA 10	19.33	22,457	16.84	2.49	22,457	16.84	2.49	22,457	16.84	2.49
Fairview Cove Green	3.94									
MetroWest Country Club	2.60									
Palma Vista Green	0.41									
Park Avenue at Metrowest	1.34									
Stonebridge Commons Open Space/Green	10.20									
Westchester Open Space/Green	0.84									
SERVICE AREA 11	16.57	20,051	15.04	1.53	20,063	15.05	1.52	20,075	15.06	1.51
Ivey Lane Park	8.75									
Lace Fern Village Park	0.32									
Malibu Groves Park (Tot Lot)	0.20									
Pleasant Valley Park	1.60									
Poppy Park	2.30									
Willie Mays Park	3.40									
SERVICE AREA 12	27.26	11,954	8.97	18.29	11,985	8.99	18.27	12,034	9.03	18.23
George Barker Park	7.00									
Gilbert McQueen Park	6.61									
Grand Avenue Park	8.65									
Isle of Catalina (Private)	0.86									
Lizzie Rogers Park	3.14									
Washington Shores	1									
SERVICE AREA 13	52.55	12,365	9.27	43.28	12,415	9.31	43.24	12,986	9.74	42.81
Al Coith Park	6.10									
Cherokee Park	3.10									
Delaney Park Playground	7.23									
Lake Beauty Park	0.56									
Lake Cherokee Shoreline Park	3.80									
Lake Como	4.45									
Lake Davis	3.52									
Lake Emerald	0.28									
Lake Lancaster	0.79									
Lake Lucerne	3.20									
Lake Weldona	0.48									
Mayfair Green	0.20									
Southern Gateway Park	0.29									
Wadeview Park/Boone Pool	18.55									

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	ACRES	2020			2025			2030		
		Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 14	24.09	30,701	23.03	1.06	30,745	23.06	1.03	30,772	23.08	1.01
Bryn Mawr Recreation Area	4.00									
Citrus Square Recreation Site	0.20									
Como Elementary Playground & Fields	6.50									
Dover Estates Linear Park	0.20									
Dover Shores Neighborhood Center	8.43									
Lake Dover	0.40									
West Lake Underhill Park	4.36									
SERVICE AREA 15	22.30	8,471	6.35	15.95	8,471	6.35	15.95	8,471	6.35	15.95
Englewood Park	6.80									
Leroy Hoequist Park	15.50									
SERVICE AREA 16	65.91	9,754	7.32	58.59	9,754	7.32	58.59	9,754	7.32	58.59
Baldwin Park (Unit 1, Tract 7)	2.76									
Baldwin Park (Unit 1, Tract 2)	5.16									
Baldwin Park (Unit 1, Fox Street)	7.08									
Baldwin Park (Unit 1, Enders Park)	3.45									
Baldwin Park (Unit 2, Tract 71)	1.06									
Baldwin Park (Unit 2, Tract 72)	2.68									
Baldwin Park (Unit 2, Elem. School Park)	2.86									
Baldwin Park (Unit 4, Tract 180)	1.25									
Baldwin Park (Unit 4, Tract 181)	2.02									
Baldwin Park (Unit 4, Tract 182)	0.97									
Baldwin Park (Unit 6, Tract 203)	2.55									
Baldwin Park (Unit 7, Tract 244)	3.78									
Baldwin Park (Unit 7, Tract 245)	1.11									
Baldwin Park (Unit 7, Tract 246)	0.31									
Baldwin Park (Unit 7, Tract 247)	0.51									
Baldwin Park (Unit 7, Tract 255)	0.53									
Baldwin Park (Unit 8A, Tract 315)	1.07									
Baldwin Park (Unit 8A, Tract 314)	1.63									
Baldwin Park (Unit 8A, Tract 310)	0.56									
Baldwin Park (Unit 8A, Tract 313)	0.20									
Baldwin Park (Unit 9A, Tract 259)	6.26									
Baldwin Park (Unit 9A, Tract 285)	5.59									
Baldwin Park (Unit 9A, Tract 289)	0.69									
Baldwin Park (Unit 9B, Cady Way)	1.31									
Baldwin Park (Unit 10, Tract 393)	0.83									
Baldwin Park (Unit 10, Tract 392)	7.68									
Baldwin Park (Unit 10, Tract 391)	2.01									
SERVICE AREA 17	35.50	3,403	2.55	32.95	3,403	2.55	32.95	3,403	2.55	32.95
Airport Lake Park	35.50									
SERVICE AREA 18	5.43	8,916	6.69	-1.26	8,959	6.72	-1.29	8,959	6.72	-1.29
McCoy Ele. Park	5.43									
SERVICE AREA 19	12.95	7,765	5.82	7.13	7,765	5.82	7.13	7,765	5.82	7.13
Amhurst Park (Vista Lakes PD)	7.58									
Millford Haven Green (Vista Lakes PD)	0.23									
Tivoli Woods PD Tract B	1.33									
Tivoli Woods PD Tract I	0.78									
Tivoli Woods PD Tract Y	0.89									
Tivoli Woods PD Tract F	1.69									
Tivoli Woods PD Tract E	0.45									
SERVICE AREA 20	3.45	7,331	5.50	-2.05	8,892	6.67	-3.22	10,931	8.20	-4.75
LeeVista Square Tract U (Crowntree)	0.28									
Tivoli Gardens N Park 1 (Crowntree)	0.50									
Tivoli Gardens N Park 2 (Crowntree)	0.27									
Vista Lakes Tot Lot/Lakeshore Park	2.40									

FIGURE R-14: NEIGHBORHOOD PARK ACREAGE CAPACITY

NEIGHBORHOOD PARK SERVICE AREAS	ACRES	2020			2025			2030		
		Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus	Resident Population	Acres Needed	(Demand) or Surplus
SERVICE AREA 21	6.71	10,089	7.57	-0.86	10,697	8.02	-1.31	11,304	8.48	-1.77
EastPark PD N-1 Neighborhood Park	0.63									
East Park PD N-3 Tract G Neigh. Park	0.75									
EastPark PD N-5 Neighborhood Park #2	1.53									
EastPark PD N-7 Neighborhood Park #1	0.34									
Lake Nona Preserve Tract D (Gated)	0.39									
LaVina PD Tract AA (Tot Lot; Gated)	0.31									
LaVina PD Tract L (Tot Lot; Gated)	0.44									
LaVina PD Tract P (Lakeshore Trail; Gated)	1.15									
LaVina PD Tract M	0.19									
NonaCrest Neighborhood Park (Gated)	0.98									
SERVICE AREA 22	41.80	4,742	3.56	38.24	4,742	3.56	38.24	4,742	3.56	38.24
Lake Nona Estates (Gated)	2.90									
NorthLake Park (N-1, Magnolia Green)	0.45									
NorthLake Park (N-2A, Glatting Green)	0.80									
NorthLake Park (N-2B, Azalea Place 1)	1.34									
NorthLake Park (N-2B, Azalea Place 2)	0.75									
NorthLake Park (N-2B, Azalea Place 3)	0.67									
NorthLake Park (N-2, Sunbonnet Tot Lot)	1.36									
NorthLake Park (N-3B, Morningside)	2.83									
NorthLake Park (N-4, Enclave Green)	2.88									
NorthLake Park (N-5, Green Dock Park)	4.29									
NorthLake Park (N-5, Water's Edge Ctr)	5.05									
NorthLake Park (N-5, Boat Launch Park)	2.95									
NorthLake Park (Parkway Green)	2.57									
NorthLake Park (Entry Pond/Ped Trail)	12.96									
SERVICE AREA 23	6.37	7,114	5.34	1.03	7,114	5.34	1.03	7,114	5.34	1.03
Divosta VillageWalk Resid. Center	6.37									
SERVICE AREA 24	0.00	15,306	11.48	-11.48	15,306	11.48	-11.48	15,306	11.48	-11.48
SERVICE AREA 25	6.57	3,740	2.81	3.77	3,740	2.81	3.77	3,740	2.81	3.77
Southport Pool #1 - North	2.43									
Southport Pool #2 - South	2.84									
Southport Recreation Center - Central	1.30									
STUDY AREA A	0.73	1,020	0.77	-0.04	1,032	0.77	-0.04	1,045	0.78	-0.05
Spring Lake Park	0.73									
STUDY AREA B	0.00	13,494	10.12	-10.12	13,494	10.12	-10.12	13,494	10.12	-10.12
STUDY AREA C	2.00	3,947	2.96	-0.96	3,947	2.96	-0.96	3,947	2.96	-0.96
Hidden Beach (Private Park)	2.00									
STUDY AREA D	12.88	10,165	7.62	5.26	10,165	7.62	5.26	10,165	7.62	5.26
Ventura PD (Gated)	12.88									
STUDY AREA E	0.00	1,006	0.75	-0.75	1,006	0.75	-0.75	1,006	0.75	-0.75
STUDY AREA F	8.00	18,921	14.19	-6.19	18,921	14.19	-6.19	19,528	14.65	-6.65
Park Central (Gated)	8.00									
STUDY AREA G	0.00	7,869	5.90	-5.90	8,933	6.70	-6.70	10,593	7.94	-7.94
Total Neighborhood Park Acreage	582.91									

Sector 2 - Northeast Area

The northeast park sector service area complex includes the Baldwin Park shoreline park, Blue Jacket Park, Cady Way Bike Trail, Colonialtown Neighborhood Center, Gaston Edwards Park, Heritage Square, Langford Park, Leu Gardens, Loch Haven Park, Marks Street Senior Center, Orlando Festival Park, Orlando Skate Park and Park of the Americas; with a combined acreage of 277.43 acres, as shown on Figure R-4B. An older area of Orlando, this sector is almost entirely built-out. The redevelopment of the Orlando Naval Training Center into the Baldwin Park neighborhood has dramatically changed the area's income level, enriched the housing mix and transformed the park sector's amenities.

When the U.S. Navy announced in 1993 that it would close the Orlando Naval Training Center, the City of Orlando saw an opportunity to build a vibrant, new urbanist neighborhood. Expected to reach build out in 2010, Baldwin Park will have 10,000 residents living in 4,100 homes. As part of this development there has been an introduction of over 200 acres of community and neighborhood level park land. Audubon of Florida has also assisted in parks planning and wetlands restoration projects. To commemorate the Orlando Naval Training Center, a new 55 acre community park was built and named "Blue Jacket" Park, a term commonly used to refer to navy service personnel and in this instance was the name of a wooden training ship that previously existed on the park site. Completed in 2002, Blue Jacket Park has four soccer fields, two baseball fields, a "great lawn", playground, and other amenities.

The April 1, 2006 baseline population estimate for this sector area of the City was 25,973. Using the 1.3 acre/1000 population minimum acreage standard, there was a 2006 surplus of 243.67 community park acres in this Sector. The community park LOS surplus in this sector is anticipated to exceed 219 acres through the year 2030.

Sector 3 - Southwest Area

The southwest park sector of the City of Orlando contains Bill Frederick Park at Turkey Lake, the Claudia Allen Senior Center, Clear Lake Park, Dr. Smith Recreation Center, Eagle Nest Park, Hankins Park, Jackson Recreation Center, Lake Fran Bike Trail, and Orlando Sports Complex (see Figure R-4C). Lake Cane/Lake Marsha Park and Orlo Vista Park, two nearby Orange County Parks, are not counted in the City's LOS analysis. The combined acreage of developed parks in this sector is 322.53 acres.

The southwest area of the City of Orlando has a diversity of housing types, population groups, and income levels. Residents living around Clear Lake in the Columbia St./Bruton Blvd. area are served primarily by Hankins Park, the L. Claudia Allen Senior Center, and Dr. Smith Recreation Complex. Further south lies the Bill Frederick Park, which is situated adjacent to the Metrowest Development of Regional Impact (DRI). One of few user fee parks in Orlando, the 173 acre Bill Frederick Park is a popular urban camping area for Orlando citizens due to its broad range of activity-based amenities which range from fishing to in-line skating.

The April 1, 2006 baseline population estimate for this Sector was 73,940, an increase of over 20,000 people from the last decade. Based on the 1.3 acre per 1000 population minimum acreage standard for community parks, 96.12 acres are required. This area had a 2006 surplus of approximately 226.41 community park acres. A surplus in community park land of at least 189.71 acres is projected through 2030.

Contributing to the large park surplus in this sector has been the development of Eagle Nest Park. Financed in multiple phases through the “City Beautiful-The Legacy Continues” park development program and a \$650,000 grant from Florida Communities Trust for the purchase of 25 acres of parkland, the 50 acre active portion of Eagles Nest Park includes an adult baseball field, soccer fields, trails with supporting restroom/concessions facilities, lighting, parking, and landscaping. There is also approximately 471 acres of passive park space/wetland preservation which serves as an educational environmental study area (this portion of the park is classified as Undeveloped in the park inventory). The park has an abundance of wildlife and is called Eagle Nest in honor of the eagles that nest in this area. A popular facility for bikers, a portion of the Lake Fran/Shingle Creek bike trail winds through this park. As part of a joint use agreement with Orange County Public Schools, the City also shares the recreational facilities with Eagle Nest Elementary School.

*Eagle Nest
Park*





*Bill
Frederick
Park*

Sector 4 - Upper Southeast Area

For over the last two decades, the upper southeast park sector has had an increasing demand for community park acreage due to its rapid population growth. This area will continue to grow but at a much slower rate than Park Sector Areas 5 and 6. In 2006, there were an estimated 72,751 Orlando residents living in this area. Characterized by multifamily residential developments, the area is mostly populated by young singles and married couples with no or very few children. While many of these developments provide for the recreation and open space needs of their residents through the inclusion of pools, tennis courts, and work out rooms, there is a noticeable lack of large, activity-based recreational facilities.

Community parks in this sector include the Demetree Park, Englewood Neighborhood Center, Greenwood Cemetery and Urban Wetland, LaCosta Urban Wetland, Lake Underhill Shoreline Park, Mayor Beardall Park, and Southport Community Park; all with an existing acreage of 213.54 acres. Figure R-4D graphically displays the location of community parks in the southeast area.

Using the 1.3 acres per 1000 population minimum acreage standard, there was an April 1, 2006 baseline surplus of 118.96 acres of community level park land. While there is surplus acreage, this area is also deficient in activity-based amenities. Of the nine community parks already existing in the upper southeast service area, only Demetree Park, Englewood Neighborhood Center and Southport Community Park contain baseball fields.

Southport Community Park, one of the City's four cornerstone parks, was developed under the "City Beautiful-The Legacy Continues" park program. This project involved a \$2.8 million dollar renovation of the existing Southport Community Park transforming it from a dilapidated U.S. Navy recreation area into a state of the art 52 acre community park with six lighted baseball fields, a playground, a pavilion overlooking a newly constructed lake, community stage, picnic

facilities, basketball courts, biking and walking trails. A large portion of the park is informal open space.

Demetree Park, which serves as a 24.6 multi-use park, encompasses three lakes linked by a system of walks, footbridges, and boardwalks. The park's boardwalk winds through a wooded area offering a natural environment for walking, bird watching and resting. More developed areas of the park include a playground, tot-lot, picnic areas, tennis court and basketball court. In 2004, as part of a park expansion, Demetree Miracle Field was introduced as the first fully accessible baseball facility for special needs children in Central Florida. This \$460,000 park came about due to financial support from Orange County, the City, Central Florida Miracle League, David Metzker Golf Classic, and the Demetree family. The adapted playing surface is constructed of a rubberized material that allows children, using a variety of mobilization apparatuses, to move about the field without limitation.

The community park LOS in the upper Southeast area of the City is anticipated to have a 108.71 acre surplus through the year 2030.



*Players at Demetree
Miracle Field*

Sector 5 - Southeast Orlando Sector Plan Area

Community Park Sector 5 consists of the Southeast Orlando Sector Plan area, which is situated south of the Beachline Expressway on the east side of the Orlando International Airport (See Figure R-4E). The Southeast Orlando Sector Plan area was added to the Growth Management Plan in 1994, following the annexation of approximately 12,000 green field acres into the City of Orlando. The Southeast Orlando Sector Plan requires that developers dedicate both community and neighborhood level park land consistent with the City's adopted LOS standards.

Community Park Sector 5 is also the area of the City which will experience the most population growth over the next 22 years. It is projected that the population in this area will increase from

5,067 people (April 1, 2006 baseline) to over 38,466 people by the year 2030. During the last update in 1999, this area had only 236 residents. Using the 1.3 acres per 1000 population minimum acreage standard, only 6.59 acres of community park land was needed to serve 2006 population. There is currently a surplus of 34.79 acres of community level park land.

Current timing thresholds as specified in Recreation Policy 1.1.1 indicate that new park development would not be required to be incorporated into the Capital Improvements Element (CIE) and Capital Improvement Program (CIP) until approximately 2025. Without a new park, the community park LOS surplus in this sector is anticipated to have a deficit of 8.63 park acres by the year 2030. (Please see section 3.E for a discussion of the proposed parks.)

The future park acreage deficit does not tell the entire story. There will also be a deficit of large activity-based amenities such as ballfields. The population in this area will ultimately require at least 3 little league ballfields, 7 softball fields, and 3 soccer/multi-purpose fields.

Since 1999, residents has been well served by NorthLake Park. This multi-use park, came about as part of a unique partnership among the City of Orlando, Orange County Schools, YMCA, Lake Nona Land Company, and Orlando Regional Healthcare Systems. The \$13 million project involved the siting of an elementary school and a YMCA facility within the confines of a City park. The facility also serves as the focal point for Lake Nona, the first new urbanism neighborhood in the Southeast Plan area.



*NorthLake Park
Community
School/YMCA*

Sector 6 - Southeast/Vista East Annexation Area

Community Park Sector 6 was created and incorporated into the Growth Management Plan in 1997 as the result of the annexation of the Vista East area, which is located north of the Beachline Expressway and east of Narcoossee Road (See Figure R-4E). The 2006 population estimate for this sector area of the City was 7,388. Using the 1.3 acre/1000 population

minimum acreage standard, there was a deficit of 2.22 acres community park acres in this Sector.

The Southeast Community Park Sector 6 (the Vista East area) is currently not meeting adopted LOS standards. Taking population growth into consideration, and assuming the worst case scenario of no new Community Park land being developed in this area, the LOS acreage deficiency could grow to 7.56 acres by 2010, 12.24 acres in 2020, and 16.92 acres by 2030. Using the timing thresholds specified in Recreation Policy 1.1.1, a park project would need to be added to the CIP and CIE to address this current and projected deficiency sometime between 2010 and 2015. (Please see section 3.E. for a discussion of the proposed park.) However, as with the Southeast Orlando Sector Plan area (Sector 5), the acreage deficiency tells only part of the story. The projected population in this area will ultimately require at least 2 little league ballfields, 3 softball fields, and 1 soccer/multi-purpose fields.

3.E. SOUTHEAST ORLANDO COMMUNITY PARK LAND – NEEDS ANALYSIS

In order to address the Community Park needs in the southeast portion of the City, an analysis of the south-east was performed. The findings were summarized in the Southeast Orlando Services – Needs Analysis 2006-2030. This report was presented to the Orlando City Council on August 28, 2006. Specifically, the needs analysis calls for the development of 5 new Community Parks to serve the projected 2030 population. (For the actual amount of acreage which is currently dedicated to the CIE, please see 3.3 Park Needs Analysis – Existing and Future Conditions.)

- **Community Park #1** There will be a need for a 75 to 80 acre Regional Sports Complex and community center in the northern part of *Community Park Sector 5* (south of SR 528, north of Moss Park Road, and within the Narcoossee Road corridor). Anticipated amenities would include a 10,000 sq. ft. community center building, an 8-field soccer complex, 2 practice fields, playground and other park amenities. Acquisition and development should occur in the next 5 to 10 years, with acquisition taking place sooner if land donation, dedication, or purchase opportunity occurs.
- **Community Park #2** The 18-acre Lake George site, in *Community Park Sector 4*, should be developed with a community park within the next 3 to 5 years, containing a community center building, 1 tennis court, 2 multipurpose sports fields, a playground and other park amenities. The park and other amenities should be constructed in phases as the population increases. Partnership opportunities with Orange County and/or Orange County Public Schools should be explored.
- **Community Park #3** A 35-acre community park will be needed in the Vista East area, *Community Park Sector 6*, and should include a community center building, 2 basketball courts, 2 tennis courts, a soccer/multi-use field, and a 4-field softball complex, along with playground and other park amenities. The acquisition and development of this

park should occur in the next 5 to 10 years, but is dependent on the timing of development of the Vista Park project.

- **Community Park #4** There will be a need for a community center and additional ballfields in the southern part of *Community Park Sector 4* (in the Southport area) in the next 10 years. The concept is to create a premier baseball facility by adding to the 6 baseball fields existing on site. At least 15 additional acres of parkland is required if property is available directly adjacent to the existing Southport Community Park (approximately 23 acres would be needed if not adjacent to the existing park). The anticipated amenities include a community center building, 4 additional baseball fields, a playground and other park amenities.
- **Community Park #5** Finally, a 74-acre regional park, baseball complex and community center will be needed in the southern Southeast Orlando Sector Plan area to serve the residents of Lake Nona and other nearby residential developments (*Community Park Sector 5*). This complex should include a community center building, 2 basketball courts, 2 tennis courts, 2 sand volleyball courts, 2 multi-purpose sports fields, a 4-field baseball complex, and a maintenance facility, along with a playground and other park amenities. City staff and Lake Nona are currently finalizing the design of the park, which will be reviewed by the Southeast Town Design Review Committee and City Council as a Specific Parcel Master Plan in the near future. It is anticipated that the developer will commence development of this park in approximately 4 years, with completion in 5 years (2012). Construction of the community center building may be funded by the City in a future phase.

3.F. NEIGHBORHOOD PARK LAND – NEEDS ANALYSIS

While City-wide, the provision of Neighborhood Parks is adequate the distribution of this park land is inconsistent. In order to fully analyze Neighborhood Park needs, service areas were delineated using a 1 mile service radius. This resulted in 25 distinct service areas. A 0.75 acre per 1,000 population level of service standard has been established to evaluate service availability. The LOS status of the City's Neighborhood Park Service Areas (NPSA's) varies to some degree. NPSA's 1 through 17, and 19 through 25, are all currently registering surpluses. However, NPSA 18 registered a minor deficiency of 0.13 acres in 2006, and future deficiencies are anticipated in other NPSA's.

Figures R-5A through R-5E depict the boundaries of each of these Neighborhood Park service areas, as well as seven areas of the City which are currently un-served or underserved by Neighborhood Parks (Neighborhood Park Special Study Areas A-G).

Neighborhood Park Service Area #1

Neighborhood Park Service Area (NPSA) #1 is dominated by the Rosemont residential planned development. In 2006, NPSA #1 was home to approximately 11,994 residents, and is served by four neighborhood park facilities: Lighthouse Park, Rosemont Community Area, Rosemont Park/Tot Lot, and Rosemont Sports Fields and Community Center.

The Rosemont Community Center was completed in early October 2005. The facility is 15,500 square feet and includes a multipurpose meeting space with an adjacent food service area, fitness center, men's and women's locker rooms, computer lab, arts and crafts room, game room, teen room, administrative offices and open green spaces for outside activities. Additional outside park amenities include a multipurpose pool, basketball courts, tennis courts, children's playground, open green spaces with hard surface trail, picnic areas and parking.

Lighthouse Park came about due to feedback from residents requesting the City to utilize green space adjacent to an existing storm water pond. The result is an attractive 3.52 acre park with a playground, pavilion, site furnishings and landscaping.

Using the 0.75 acres/1,000 population LOS standard, the April 1, 2006 baseline population in NPSA #1 generated the need for 9.00 acres of neighborhood park land. The combined Neighborhood Park acreage in this area is 23.68 acres, thereby generating a 2006 surplus of 14.68 acres. If no new parks are developed in this area, there will continue to be a surplus of at least 14.66 acres through the year 2030.

Neighborhood Park Service Area #2

NPSA #2 is a stable area, featuring both single family and multifamily development (See Figure R-5A.) It is a moderate income area, with most homes built in the past 35 years. The April 1, 2006 baseline population in this area was approximately 3,218, and the area is served by two neighborhood parks, namely Signal Hill Park and Willows Park with a combined acreage of 9.20 acres. Using the City's minimum acreage standard, the population in this area requires 2.41 acres of neighborhood park land. In 2006, NPSA #2 experienced a LOS surplus of 6.79 acres. Because population is expected to increase slightly in this service area, it can be assumed that a park acreage surplus of 6.68 acres will be continued through the year 2030.

Signal Hill Park came about as a joint use agreement with Orange County Public Schools and the City of Orlando. OCPS donated land abutting Rolling Hills Elementary school. The City designed and developed a multipurpose field, basketball courts, playgrounds, fitness circuit, landscaping and lighting. A local artist was commissioned to weld a unique arch, which serves as an entrance to both the park and the school.

Neighborhood Park Service Area #3

NPSA #3 is a low to moderate income area (See Figure R-5A). The City's Growth Projections Report indicates that there were approximately 3,456 persons living in this area in 2006. The

population breakdown and age range shows that a large portion of the persons residing in this NPSA are children. Currently, there are three neighborhood parks serving this area, including the Mercy Drive Recreation Complex, Mercy Drive Playground and Lake Lawne Park, a joint City-County park. They have a combined acreage of 27.72 acres. Using the City's minimum acreage standard, there was a 2006 demand of 2.59 acres of Neighborhood Park land and a LOS surplus of 25.13 acres. The population in this NPSA is expected to grow to approximately 6,250 persons by the year 2030. With this growth in population, the surplus in this area is expected to decline to 23.03 acres but will still meet LOS standards.

Neighborhood Park Service Area #4

NPSA #4 has a proliferation of neighborhood parks with overlapping service radii (See Figure R-5A). This NPSA contains an established series of neighborhoods, including College Park, consisting mainly of moderate to upper income families residing in single family homes. Albert Park, College Park Community Center, Dartmouth Park, Guernsey Park, Ivanhoe Plaza Park, Lake Adair, Lake Concord, Lake Ivanhoe, Mathews Park, Overbrook Park, and Princeton Park Playground are all within the service area, with a combined acreage of 38.46 acres.

The April 1, 2006 baseline population estimate for this service area was 11,830 and the park demand was 8.87 acres. The area is currently experiencing a neighborhood park land surplus of 29.59 acres. Because the population in this NPSA is expected to increase by about 1,800 residents by the year 2030, the current surplus should decline slightly to 28.21 acres.

The popular Dartmouth Park was renovated in 2000, as part of the "City Beautiful-The Legacy Continues" park development program. The renovation included new playground equipment, a perimeter trail, pavilion, landscaping and replacement of site furnishings. This \$180,000 project did not result in increased capacity, but was important nonetheless, because it furthered the City Beautiful park concept.

Neighborhood Park Service Area #5

NPSA #5 includes some of the older residential neighborhoods of Orlando, including Park Lake/Highland and a portion of Colonialtown (See Figure R-5B). The area is predominately made up of single family residences. This NPSA contains 22.25 acres of neighborhood park land, including Beth Johnson Park, Big Tree Park, Lake Estelle, Lake Formosa, Lake Highland Park, Lake Rowena, Loch Haven Neighborhood Center, Orlando Cultural Park, Orwin Manor Green, Orwin Manor/Westminster Green and Park Lake.

Big Tree Park is appropriately named due to a 500 year old Southern Live Oak tree on site. Appropriately named The Mayor, its canopy shades approximately half of the 0.7 acre park. All the facility's seating, tables and trash receptacles were hand carved by a local chainsaw artist, resulting in a rustic park setting located firmly in an urban neighborhood.

The 2006 population estimate for this area was approximately 5,349. Using the City's minimum acreage standard for Neighborhood Parks, there was a requirement for 4.01 acres of park land,

creating a surplus of 18.24 acres (2006). Population in this area is expected to almost double by 2030. However, because of the amount of park land already located in this area, it is anticipated that at least a 13.74 acre surplus will be maintained through 2030.

Neighborhood Park Service Area #6

NPSA #6 is a stable residential area, featuring a mixture of housing types and incomes (See Figure R-5B). This area is bounded on the east by Baldwin Park and is adjacent to a major shopping center, the Orlando Fashion Square Mall. There are five neighborhood level parks in this NPSA, including Audubon Park, Colonialtown Square, Iowa Place Park, Mitchell Nutter Park and Songbird Park, with a combined acreage of 9.50.

The City of Orlando is currently working with Orange County Public Schools to update the joint use agreement at Audubon Park Elementary School. Colonialtown Square was developed as part of the Mayor's Park Initiative, with the objective of beautifying an existing lift station. Opened in 2000, the square, which contains benches, lighting and planters, has become a pleasant urban green space where neighbors can gather and socialize.

With a 2006 baseline population of 5,395 City residents, there was a surplus of 5.45 acres of neighborhood park land. Because this area is within the built out portion of Orlando, and population is expected to increase only slightly over time, the surplus in this area is expected to remain stable at 5.45 acres through 2030.

Neighborhood Park Service Area #7

NPSA #7 includes a collection of neighborhoods consisting primarily of low to moderate income individuals and families, living in a mixture of housing types (See Figure R-5A). This area covers all of the City property south of Colonial Drive, north of the East-West Expressway, west of I-4, and east of Pine Hills Road. The April 1, 2006 baseline population estimate for this NPSA was 7,479. This particular NPSA has six neighborhood parks including the Florida A&M School of Law Green, Lake Dot, Lorna Doone Park, Parramore Heritage Central Park, Riley Park, and Rock Lake Park, totaling 36.12 acres.

Rock Lake Park represents an excellent example of intergovernmental coordination and planning. A joint use agreement between the City and Orange County Public Schools allows the reciprocal use of the park and school. Orange County Public Schools donated the land behind Rock Lake Elementary to the City. The City developed the parcel with a basketball court, soccer fields, tennis courts, a walking trail, parking, landscaping and lighting. In addition, a Neighborhood Center was built to provide meeting space, a serving kitchen, reading room, computer room, and restrooms complete with showers.

Using the City's minimum acreage standard for Neighborhood Parks, there was a demand for 5.61 acres of Neighborhood Park land in this NPSA in 2006. With 36.12 acres of parks, the existing surplus in this area equals 30.51 acres. Even with moderate population growth due to anticipated redevelopment activities, a surplus of at least 27.21 acres is expected through the

year 2030. While there is an overall surplus of 30.51 acres of neighborhood park land, this surplus is primarily situated on the west side of Orange Blossom Trail. In effort to address the lack of neighborhood park land in the easternmost portion of this service area, the Downtown Outlook planning document along with the Mayor’s Parramore Task Force Report, calls for the acquisition and development of neighborhood parks and greens in the Parramore area. While not an LOS requirement, these actions should be pursued as resources and opportunities allow.

Neighborhood Park Service Area #8

NPSA #8 has undergone a remarkable transformation over the past decade as young Orlando residents have increasingly moved downtown to take advantage of new multi-family development and emerging urban amenities. Downtown is the financial and business hub of the greater Orlando area. Alongside the increasing number of high rises are a number of established residential neighborhoods, featuring some of the more diverse and historically significant structures within the City (See Figure R-5B). With the widespread growth over the past 20 years, significant gentrification of downtown’s older neighborhoods has occurred. This NPSA contains Cherry Tree Park, Constitution Green, Dickson Azalea Park, East Central Neighborhood Center, Gertrude’s Walk, Hampton Park, Howard Middle School, ,Kittenger Park, Lake Eola Park, Lake Lawsona, Orlando City Hall Urban Park, and Wall Street Plaza.

The Popular Swan Ride at Lake Eola Park



Lake Eola Park is Orlando’s “central park”, serving the entire metropolitan area during festivals and large scale events, while on a day-to-day basis serving as a neighborhood park for Downtown residents. The tot-lot found in the southeast corner of Lake Eola is one of the most heavily utilized recreational facilities in the City of Orlando.

In 2006, there were approximately 10,078 residents in this NPSA. It is anticipated that a large amount of redevelopment activity will occur in this area over the next 20+ years, with a corresponding increase in population of approximately 7,000. In 2006, NPSA #8 had 33.98

acres of neighborhood level park land. The current surplus equals 26.42 acres. Even with the growth of population, it is anticipated that a park acreage surplus of at least 21.02 acres will be maintained through the year 2030.

In downtown Orlando, park acreage surpluses are concentrated in certain areas and opportunities to expand current parks are limited. To meet wide spread urban recreational community needs, improvements such as public art, water features or seating areas should be introduced to create a circuit of outdoor places where people can walk, sit and congregate. Innovative funding strategies will also have to be pursued to create and maintain these improvements. Partnerships with private organizations to build urban recreational places so as to leverage City funds will be essential to meeting urban recreational needs.

Neighborhood Park Service Area #9

NPSA #9 is the smallest of the City's neighborhood park service areas, and in 2006 this park service area had a City resident population of 924 (See Figure R-5B). This number of residents requires approximately 0.69 acres of park land. NPSA #9 is a moderate income area, with a preponderance of older single family homes and a few small multifamily developments. Very little if any residential development is anticipated in this area, with population projected to increase to only 995 in 2030 (an increase of 71 people). So, even with population growth, it is anticipated that only 0.75 acres of park land would be needed in this NPSA during the planning period.

There is no City-owned neighborhood park acreage in this service area. Park needs have been addressed through a joint use agreement between the City of Orlando and Orange County Public Schools for use of the ball fields at Azalea Park Elementary. The agreement is currently in the process of being renewed.

In keeping with Recreation Policy 1.1.1, it appears that the City would not reach the point where a neighborhood park would be required to be constructed during the planning period. As such, City Planning staff recommends that the FPR Department renew the joint use agreement in order to allow City residents to utilize the recreational facilities at Azalea Park Elementary.

Neighborhood Park Service Area #10

NPSA #10 was one of the fastest growing areas of the City during the 1990's, with much of the growth attributed to the development of Universal Studios and other entertainment/attractions along Kirkman Road and International Drive (See Figure R-5C). The population in this area is expected to grow but at a much slower pace from 19,581 in 2006 to approximately 22,457 in 2030. This area is dominated by the MetroWest Development of Regional Impact (DRI), which features a large residential component. As MetroWest matured, residential developers provided a series of neighborhood-level park facilities. While there are no City-owned neighborhood parks in this service area, there are several community-owned parks

including Fairview Cove Green, MetroWest Country Club, Palma Vista Green, Park Avenue at MetroWest, Stonebridge Commons Green, and Westchester Green totaling 19.33 acres.

NPSA #10 is currently experiencing a surplus of 4.64 acres (2006). Even with projected population growth of approximately 2,800 people between 2006 and 2030, it is anticipated that a surplus of at least 2.49 acres will be maintained in this area.

Neighborhood Park Service Area #11

NPSA #11 is located in the southwest area of the City of Orlando, and includes a number of established neighborhoods (See Figure R-5C). Housing stock in this area is primarily single family; however, a great deal of multifamily development has occurred along Kirkman Road. The 2006 baseline population estimate for this area was 19,747 and the area is anticipated to grow modestly to approximately 20,075 in 2030. There a number of developed parks in the NPSA, including Ivey Lane Park, Lace Fern Village Park, Malibu Groves Park, Pleasant Valley Park, Poppy Park and Willie Mays Park, which have a combined acreage of 16.57 acres. Based on the area’s 2006 population, the area is currently experiencing a surplus of 1.76 acres. The surplus is projected to decline to approximately 1.51 acres in 2030.

A recent addition to this NPSA is the Ivey Lane Park. As part of the “City Beautiful-The Legacy Continues” program, the City of Orlando provided over \$3.5 million for the development of this park. Situated at the City of Orlando Housing Authority Ivey Lane Homes Complex and adjacent to the Ivey Lane Elementary School, Ivey Lane Park includes a recreation facility, amphitheatre, pavilions, playgrounds, softball field, basketball courts, and multi-purpose fields. Mature live oaks were transplanted to the playground to provide shade. The City also has an agreement with the Orange County Public Schools for the shared use of the OCPS Ivey Lane school campus and Ivey Lane Park. The City facilitated the entire project by constructing recreational facilities on both City and Ivey Lane Elementary School parcels.

Ivey Lane Park Play Area



It should be noted that there are additional undeveloped parks in this area, including Ravenall Park and Prince Hall Park. Development of these projects, while not currently funded, should be considered in later years.

Neighborhood Park Service Area #12

NPSA #12 is a very diverse area, with a mixture of commercial, industrial, office and residential uses (See Figure R-5C). The housing stock is mixed, with both single family and multifamily development. Included within this area are a large number of government-subsidized low-income housing developments. George Barker Park, Gilbert McQueen Park, Grand Avenue Park, Isle of Catalina (private), Lizzie Rogers Park, and Washington Shores Park represent the developed Neighborhood Parks in this area, consisting of 27.26 combined acres.

The 2006 City resident population was approximately 11,719. Using the minimum acreage standard of 0.75 acres per 1,000 population, NPSA #12 experienced a 2006 LOS surplus of 18.47 acres, and because only minimal population growth in this area is anticipated, a surplus of 18.23 acres of park land is expected to be maintained through the year 2030.

It should be noted that this NPSA does have a significant Orange County population that when combined with the City population, creates some strain on the City park facilities. The City recently developed two parks in this area through the “City Beautiful-The Legacy Continues” park development program. The City of Orlando invested just over one million dollars in the creation of the 33 acre Clear Lake Park (categorized as a Community Park). The popular park includes nature trails, playground, a board walk, fitness stations and a fishing dock. The second facility to be recently developed is the popular Lizzie Rodgers Park which is located in the Lake Sunset/Luola Terrace neighborhood adjacent to Orange Center Elementary School. The 3.14-acre park, named for Lizzie Rodgers, a local resident and humanitarian who was instrumental in developing this park for the neighborhood children, includes a playground and a picnic area. Another improvement in this NPSA included a new boat ramp at the Gilbert McQueen Neighborhood Park, (along with a boat ramp at Lake Fairview Park; Community Park Sector 1). These improvements were made possible due to a \$350,000 matching grant, in 2000, from the Florida Boosters Improvement Program.

*Fishing Dock at
George Barber
Park*



Neighborhood Park Service Area #13

NPSA #13 includes a number of stable residential areas, including the Cherokee and Copeland Historic Districts (See Figure R-5D). There is also a mixture of generally small scale multifamily development along with senior high-rise tower developments in the area. The area is well-served by fourteen Neighborhood Parks, including Al Coith Park, Cherokee Park, Delaney Park Playground, Lake Beauty Park, Lake Cherokee Shoreline Park, Lake Como, Lake Davis, Lake Emerald, Lake Lancaster, Lake Lucerne, Lake Weldon, Mayfair Green, Southern Gateway Park, and Wadeview Park, all totaling 52.55 acres. Many of these parks are associated with Orlando's signature lakes.

The 2006 baseline population estimate in this area was 11,113, with modest growth expected during the next 20+ years (a total of 12,986 in 2030). Using the City's minimum acreage standard, there was a 2006 surplus of 44.22 acres in this NPSA. Because population projections for this area indicate that there will be less than a 10% increase in population by 2030, the surplus park acreage figure will not change appreciably, decreasing to approximately 42.81 acres.

A number of the parks in this NPSA have undergone improvements. In response to citizen requests, Delaney Park underwent extensive upgrades in 2000 and a butterfly garden, several new landscape areas and site furnishing were introduced. More recently, Delaney Park was graced with a new sculpture celebrating children at play. Wadeview Park, a popular park with the neighborhood residents, underwent an extensive renovation in 2004 as did the adjoining Wadeview Park Community Center and Pool. As part of the "City Beautiful-The Legacy Continues" program and as part of a Field of Dreams grant, the City developed additional ballfields and soccer fields on the Boone High School site. There is also a joint use agreement in place between the City and the Orange County Public Schools for the use of these facilities.

Neighborhood Park Service Area #14

NPSA #14 is located in upper southeast Orlando, and can be generally characterized as an established, low-growth area (See Figure R-5D). The housing stock found in this area is moderately priced mixed single family and multifamily. The neighborhood level park facilities consist of the Bryn Mawr Recreation Area, Citrus Square Recreation Site, Como Elementary Playground and Fields, Dover Estates Linear Park, Dover Shores Neighborhood Center, Lake Dover and West Lake Underhill Park, with a combined acreage of 24.09 acres.

The April 1, 2006 baseline population in this area was approximately 30,519, making it the largest NPSA in Orlando. Based on the minimum acreage standard for neighborhood parks, NPSA #14 experienced a 2006 surplus of 1.20 acres. Because this is a built-out area with no significant development anticipated, a surplus of at least 1.01 acres is expected to be maintained through the year 2030.

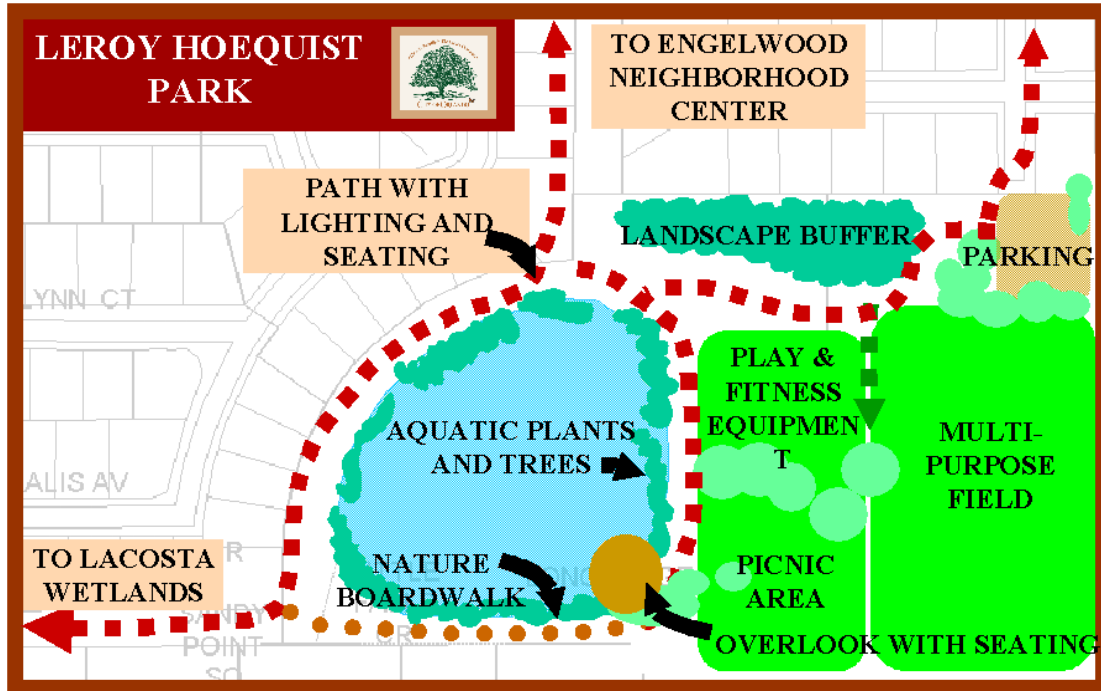
Through the “City Beautiful-The Legacy Continues” program, approximately \$260,000 of improvements were made to the Lake Como Little League fields which included dugouts and fencing. A new playground was also constructed. While these recent improvements did not improve acreage-based LOS, they were important in terms of enhancing the park experience for area residents. The City of Orlando also has a joint use facility agreement with Orange County Public Schools to utilize the Como Elementary School facilities which includes athletic fields, restrooms, and campus. Students can also use the City recreation fields.

Neighborhood Park Service Area #15

NPSA #15 is also located in upper southeast Orlando, and can be described as an established residential area with a mixture of both single family and multifamily developments (See Figure R-5D). This NPSA is served by two parks, Englewood Park and Leroy Hoequist Park, which have a combined acreage of 22.30 acres.

The 2006 City resident population in this area was 8,471. No additional growth is anticipated by the year 2030. There was an estimated 2006 LOS surplus of 15.95 park acres, which is expected to remain steady through the year 2030.

While the Englewood and Hoequist sites exist and are used by area residents, both facilities for many years were considered substandard. As part of the multi-year “City Beautiful-The Legacy Continues” park development program, the City committed over \$570,000 to improve the ballfields at Englewood. Leroy Hoequist Park, adjacent to Chickasaw Elementary School, has also been renovated. The 15.50 acre park now has a gazebo, picnic pavilion and a playground adjacent to an open lawn and a large man-made lake. The park, through interconnecting walking paths, is connected to the Englewood Neighborhood Center and the La Costa Wetlands. In the future, the City plans to fully develop the Hoequist site to include a softball and little league field, as well as a soccer field, at a cost of \$1.1 million.



Neighborhood Park Service Area #16

NPSA #16 was created in 1997 as a result of the closure of the Orlando Naval Training Center - Main Base. When the U.S. Navy announced in 1993 that it would close the Orlando Naval Training Center, the City of Orlando saw an opportunity to build a vibrant, mixed-use neighborhood that would make the base property once again part of the community. Envisioning a village that mixes homes with places of work and entertainment, the City of Orlando set out with an ambitious plan to turn the former Navy base into a viable mixed-use community that complements the surrounding area. In 2000, the site began its transformation into Baldwin Park, one of Orlando's finest neighborhoods with broad based recreational amenities and open space.

There are over 200 acres of park land in this newly created neighborhood, of which 65.91 are considered to be neighborhood level park land. Two miles of lakefront property have been reserved for public use and 50 miles of trails and sidewalks contribute to an interconnected street grid for walking and biking. The Baldwin Park Community Development District also created 16 extra acres of parkland by incorporating innovative underground stormwater management systems. Audubon of Florida has helped plan parks and wetlands restoration projects, recreating ecosystems which add to the area's natural beauty. The twenty-seven (27) neighborhood parks are strategically situated through-out the development. One of the most spectacular of these parks is the popular Lake Baldwin Shoreline.

The Baldwin Park neighborhood already had over 4,224 residents by 2006. When Baldwin Park reaches build out in 2010, it will have approximately 9,750 residents. Using the 1.3 acre/1000

population minimum LOS acreage standard, there is an existing surplus of 62.74 neighborhood park acres. A surplus of at least 58.59 acres is projected to be maintained through 2030.



*One of the many
promenades in
Baldwin Park*

Neighborhood Park Service Area #17

NPSA #17 is located south of Gatlin Avenue, north of Hoffner Road, west of State Road 436, and east of Conway Road (See Figure R-5D). The housing within this service area is primarily multi-family, although some single family homes are present. There is one park within this service area, namely the 35.50 acre Airport Lakes Park, which was acquired through dedicated City funding and grant funding in the amount of \$500,000 from the Florida Communities Trust. This \$2.5 million park has a large protected wetland system on site, along with open play areas, a fishing dock, playground and picnic areas.

The April 1, 2006 City resident population in this area was approximately 2,148. According to the minimum acreage guideline of 0.75 acres per 1,000 population, the current neighborhood park demand equates to 1.61 acres, and there is a surplus of 33.89 acres. Due to some anticipated moderate housing growth, this surplus is anticipated to drop slightly to 32.95 acres by 2030 assuming no additional neighborhood parks are developed in this area.



*Looking at Lake Mare Praire,
from the fishing dock at Airport
Lakes Park*

Neighborhood Park Service Area #18

NPSA #18 is also located in the southeast area of the City of Orlando. It is bounded by Pershing Avenue to the north, LeeVista Boulevard to the south, Semoran Boulevard (SR 436) to the west, and Goldenrod Road to the west (See Figure R-5D). This area has undergone rapid population growth in the past decade. There is a mixture of single family homes and multi-family dwelling units in this service area. Many of the multi-family developments in this service area have private recreational amenities which include pools and clubhouses.

The 5.43 acre McCoy Park is the only neighborhood park in the area. This park was recently redeveloped as part of the rebuilding of McCoy Elementary School. The City and Orange County Public Schools have a joint use agreement for the site.

This area had a 2006 City population of 7,408, which generates a demand for 5.56 acres of neighborhood level park land. Based on the adopted LOS standard for neighborhood parks, the area is currently experiencing a deficit of -0.13 neighborhood park acres.

Even with minimal population growth projected, if no new parks are developed in NPSA #18, the deficiency will grow from -0.95 in 2010 to -1.29 acres in 2030.

In order to address the future recreational needs in Neighborhood Park Service Area 18, the City of Orlando shall continue to work closely with the Orange County School Board to maintain the McCoy Elementary joint use agreement. In addition, using the timing thresholds specified in Recreation Policy 1.1.1., a CIE/CIP project to address this deficiency is not required at this time, and is not anticipated to be necessary through 2030. However, the City will continue to monitor the LOS in this area and may seek to acquire and development additional park land if conditions warrant.

Southeast Orlando Sector Plan & Vista East Neighborhood Park Service Areas (NPSA's 19-24)

The combined Southeast Orlando Sector Plan and Vista East areas consist of approximately 15 square mile area east of S. Orange Avenue, west of the Central Florida Greenway (SR 417), south of Hoffner Avenue and Curry Ford Road and north of the Orange/Osceola County line. Over the past ten years this area has experienced significant growth in terms of population, housing, employment and non-residential square footage.

This area will be subject to significant near and long-term population growth. The City Planning Division estimates that these areas (combined) had 12,455 residents on April 1, 2006, and will have over 41,000 residents by 2015, and 57,000 residents by 2030. Residential development has already occurred in NPSA's 19-23. There has been no residential development within NPSA #24. To date, the developers of the residential projects in NPSA's #19-23 have provided neighborhood-level park land consistent with the City's Growth Management Plan requirements. The provision of neighborhood parks has and will occur in both gated and non-gated communities alike.

The developers of properties within the Southeast Orlando Sector Plan area (NPSA's #21-24) are required to provide neighborhood parks to serve their projected population according to the LOS standards specified in the Growth Management Plan. In fact, this is the only area of the City where mandatory park land dedication is required. As Specific Parcel Master Plans are brought forward, staff will work with the developers to appropriately locate those neighborhood park facilities. Because of this privately funded park development activity, no additional action in terms of providing neighborhood-level park land is required by the City for these areas at this time. However, depending on the timing of elementary school development within the Randal Park PD (NPSA 21), the City may wish to allocate funding for the development of a corresponding neighborhood park. Such a CIP project was included in the 2007-2012 CIP and should be carried forward to the 2008-2013 CIP with funding in later years. However, this would not be a required LOS-related CIE project.

Neighborhood Park Service Area #19

NPSA #19 is located within the Vista East area, located north of the LeeVista Boulevard extension and east of Narcoossee Road (See Figure R-5E). There are currently seven community-owned neighborhood-level parks in this area totaling 12.95 acres. The 2006 population in this area was 6,246, and is anticipated to grow slightly to 7,765 by 2020 and to remain at that level through 2030. As of 2006, this area was experiencing a surplus of 8.27 acres. A surplus of at least 7.13 acres is anticipated to be maintained through 2030.

Neighborhood Park Service Area #20

NPSA #20 is also located within the Vista East area, located south of the LeeVista Boulevard extension and east of Narcoossee Road (See Figure R-5E). To date, four community-owned neighborhood-level parks have been developed in the LeeVista Square, Tivoli Gardens and Vista Lakes neighborhoods, totaling 3.45 acres.

In 1999, this area had no City residents while as of 2006 there were 1,142 persons. The population is expected to grow significantly over the next twenty years, to 7,331 in 2020 and 10,931 by 2030. The 2006 baseline demand in this area was 0.86 acres, which translates into a surplus of 2.59 acres. Based on population projections, it is anticipated that a surplus will be maintained at least through the year 2010, but that deficiencies of 0.88 and 2.03 may occur by 2015 and 2020 respectively.

Using the timing guidelines specified in Recreation Policy 1.1.1, a new CIE/CIP project would likely not be required to address this deficiency until 2025 or beyond; and because this projected deficiency is so far in the future, and conditions may change, City Planning staff recommends that no action (i.e., the creation of a new CIE/CIP project) be taken at this time. Staff will continue to monitor the LOS conditions in this area. It should be noted that future dedication of park land should occur as part of plat approval.

Neighborhood Park Service Area #21

NPSA #21 is located within the Southeast Orlando Sector Plan area, south of the BeeLine Expressway, north of the Central Florida Greenway, and east of Narcoossee Road (See Figure R-5E). In 2006, this area had 2,875 City residents. According to the City's population projections, it is anticipated that this area will be home to more than 11,300 people by the year 2030. As detailed in the Southeast Plan, all residential developers are required to develop park land consistent with the City's adopted LOS for parks. To date, ten parks have been developed for a total of 6.71 acres, creating a surplus of 4.55 acres.

Due to the population growth anticipated in this area, it is anticipated that a neighborhood park deficiency of 0.4 acres could occur by 2015, growing to 1.77 acres in 2030. Of course, that assumes that no additional park development occurs. However, it should be noted that the Southeast Plan encourages and incentivizes Traditional Neighborhood Design, which generally features more parks and open spaces than typically found in conventional suburban development. The 2007-2012 Capital Improvement Program includes a \$2 million neighborhood park development project for the Southeast Plan area to begin in FY 2011-2012 as part of the Randal Park planned development. The park land is to be donated by the Randall Park development. This single project will ensure that there are no LOS issues in this area in the future.

Neighborhood Park Service Area #22

NPSA #22 is located north of Lake Nona, south of Dowden Road, west of Narcoossee Road, and east of the Orlando International Airport (See Figure R-5E). In 2006, this area had approximately 2,082 residents, most of who reside in Northlake Park, a Traditional Neighborhood Design (TND) neighborhood. Much like Baldwin Park, this neighborhood has an abundance of neighborhood-level parks totaling 41.80 acres, far exceeding the 2 acres needed per adopted LOS standards. A surplus of at least 38 acres is expected to be maintained throughout the planning period.

Neighborhood Park Service Area #23

NPSA #23 is also located within the Southeast Orlando Sector Plan area, north of the Central Florida Greenway, south of Lake Nona Estates, east of the Orlando International Airport and west of Narcoossee Road (See Figure R-5E). In 2006, this particular area had approximately 110 City residents, but it is anticipated that by the year 2030, NPSA #23 could potentially be home to more than 7,114 residents. All of the current residents are located within the VillageWalk neighborhood, which has 6.37 acres of neighborhood-level park land.

The DiVosta VillageWalk Residential Center is 6.37 acres and offers diverse amenities to the area's residents. Amenities include a waterfront Village Center, heated resort-style swimming pool, lighted tennis courts, state-of-the-art fitness center, and walking paths. The community likens itself to Venice, with all homes on canal-like water sites. In the future, the dedication of additional park land should occur as part of plat approval to serve the area's residents.

Based on the City's population projections, it is anticipated that a surplus will be maintained in this area through the year 2030. Because all residential developers in the Southeast Plan area are required to provide park land consistent with the City's adopted LOS for parks, additional parks will be provided as development occurs. It is anticipated that a surplus will be maintained through the 2030 planning period.

Neighborhood Park Service Area #24

NPSA #24 is also located within the Southeast Orlando Sector Plan area, north of the Osceola County line, south of the Central Florida Greenway, east of Boggy Creek Road and west of Narcoossee Road (See Figure R-5E). As part of this update, the boundary of this NPSA has been expanded to west to Boggy Creek Road. A portion of the area contains the southern portion of Lake Nona, and particularly the area where the Burnham Institute, UCF Medical School, VA Hospital, and Nemours Children's Hospital are or will be located. No residential development has occurred in this area to date, and no neighborhood parks have as yet been built.

This area currently has no City residents. It is anticipated that the first residential neighborhoods in this area will begin construction sometime between 2010 and 2015. Ultimately, by the year 2030, NPSA #24 could be home to more than 15,000 residents. If no new neighborhood parks were developed, by 2030 a deficiency of approximately 11.48 acres could occur. According to the Southeast Plan, all residential developers are required to provide park land consistent with the City's adopted LOS for parks. It is anticipated that neighborhood parks will be provided concurrent with residential development, so it is unlikely that this area will ever actually experience a neighborhood park deficiency. In fact, as most of the area is to be developed using Traditional Neighborhood Development standards, and similar to the experience of Baldwin Park and NorthLake Park, the amount of neighborhood level park land provided will greatly exceed the adopted LOS standard.

Neighborhood Park Service Area #25

NPSA #25 is located in the southeast portion of the City, north and east of Boggy Creek Road, and west of the Orlando International Airport (See Figure R-5D). This NPSA contains the former Orlando Naval Training Center - McCoy Annex, which was incorporated into the ONTC Reuse Plan. This area is known as SouthPort. This area contains single family homes and multifamily units which were transferred from the U.S. Navy to the City and then to private developers for resale. Both community park and neighborhood park facilities were included in the transfer from the Navy. Within the SouthPort neighborhood are three neighborhood-level parks totaling 6.57 acres. The SouthPort area also includes a large redevelopment site that is anticipated to be developed as a mixed use Traditional Neighborhood Design Community. While the property has not yet been sold to a private developer, a Vision Plan has been created which includes neighborhood level park land. It is anticipated that the SouthPort Vision Plan will be implemented after 2010, with development occurring between 2010 and 2025.

The 2006 baseline resident population in this area was estimated at 1,881 with a neighborhood park land surplus of 5.16 acres. It is anticipated that the population will grow to approximately 3,740 in 2020 when buildout of SouthPort occurs. Even with that growth, it appears that a surplus of at least 3.77 acres will be maintained in this area through the year 2030.

3.G. NEIGHBORHOOD PARK SPECIAL STUDY AREAS

Aside from the established Neighborhood Park service areas, there are a number of areas located throughout the City of Orlando exhibiting special characteristic that make the development of park land extremely problematic. These areas have been separated from the other twenty five Neighborhood Park service areas and analyzed to ascertain the level of public and private recreational opportunities available in each area. Figures R-5A through R-5E present the location and delineation of these areas, and their relationship to the existing NPSAs, while Figure R-15 displays the acreage required, or LOS deficiency, for each of these special study areas.

FIGURE R-15: NEIGHBORHOOD PARK SPECIAL STUDY AREAS - LOS DEMAND/SURPLUS

Study Area	2006 Demand/Surplus (Acres)	2010 Demand/Surplus (Acres)	2015 Demand/Surplus (Acres)	2020 Demand/Surplus (Acres)	2025 Demand/Surplus (Acres)	2030 Demand/Surplus (Acres)
A	0.01	-0.02	-0.03	-0.04	-0.04	-0.05
B	-8.70	-9.19	-9.77	-10.12	-10.12	-10.12
C	-0.96	-0.96	-0.96	-0.96	-0.96	-0.96
D	5.36	5.26	5.26	5.26	5.26	5.26
E	-0.75	-0.75	-0.75	-0.75	-0.75	-0.75
F	2.91	-0.86	-4.20	-6.19	-6.19	-6.65
G	-0.42	-2.79	-4.65	-5.90	-6.70	-7.94

Source: City of Orlando Planning Division, Economic Development Department, 2009.

Following is an analysis of each of the seven neighborhood park special study areas, along with the City's strategy for dealing with the recreational demands in each area.

Neighborhood Park Special Study Area A

This service area is located just north of State Road 50, between the North Orange Blossom Trail and John Young Parkway (See Figure R-5A). This area is served by Spring Lake Park, a 0.73 acre neighborhood park. In 2006, the City resident population in this area was approximately 954. No significant population growth is anticipated during the next 20+ years. An established residential area, there is very little vacant land available. The Special Study Area is dominated by commercial development to the south, single family residential throughout, and the private Orlando Country Club Golf Course. According to the minimum acreage guideline of 0.75 acres per 1,000 population, this area has a minimal park surplus of 0.01 acres. Because of the built-out conditions of this service area, the current demand is not expected to increase appreciably. It is anticipated that a 0.05 acre deficiency may develop through the year 2030. The City believes that correcting such a small unmet demand would not be feasible, due to the lack of available land and the small City population. In addition, Neighborhood Park Service Areas 3 and 4, which border this area, are able to augment the low level of demand. Due to the marginal park deficiency thresholds and low projected demand, the City has stated in Recreation Policy 1.1.7 that no new park land will be acquired and developed in this Neighborhood Park Special Study Area.

Neighborhood Park Special Study Area B

This second Neighborhood Park Service Area is located in the southwest portion of the City of Orlando, and is bordered by Conroy Road to the north, Kirkman Road to the west, Orlando-Vineland Road to the east and southeast, and the Florida Turnpike on the southwest (See Figure R-5C). There are no neighborhood level parks in this study area.

In 2008, there were 11,599 City residents living exclusively in multi-family residential units. The residential population has grown by less than 100 individuals since 1999. Using the City's LOS standard for neighborhood parks, there is currently a deficiency of 8.70 acres. That deficiency is expected to grow to approximately 10.12 acres by 2030.

There are no single family homes in the area. Most of the multi-family developments are less than 30 years old and have diverse private activity-based recreational amenities. A study done in the late 1990's indicated that there were a variety of popular amenities including swimming pools, tennis courts, racquetball courts, volleyball courts, and playgrounds. At the time of the study, there were over 30 pools, 26 tennis courts, 6 racquetball courts, 6 volleyball courts, and 4 playgrounds. Using the 2006 population figure, this amounts to 1 pool for every 386 persons, 1 tennis court for every 446 persons, 1 racquetball court for every 1,933 persons, 1 volleyball court for every 1,933 persons, and 1 playground for every 2,899 persons. These numbers significantly exceed National Recreation and Park Association (NRPA) guidelines.

While there is no City parkland in this area, it is recommended that no action be taken to correct the neighborhood park acreage deficit. As the analysis indicates, in addition to the large amount of private amenities, there is a lack of developable land, and many of the residential developments are isolated from each other. Moreover, finding a location for an easily accessible park which would serve in reality only a small percentage of the residents in this area would be nearly impossible. Recreation Policy 1.1.8 indicates that the City will not develop a neighborhood park in this service area.

Neighborhood Park Special Study Area C

The third Neighborhood Park Special Study Area is located south of the Florida Turnpike, east of Turkey Lake Road, and West of Kirkman Road (See Figure R-5C). Multi-family residential dominates this study area. There is one neighborhood level park in this area, namely the 2 acre Hidden Beach recreation area. According to the minimum acreage standard for Neighborhood Park service areas, in 2006, there was a need for 2.96 acres of park land and a corresponding deficit of 0.96 acres of park land. As no new residential development is projected for this area, the deficiency of 0.96 acres is expected to be maintained through 2030.

Frankly, little can be done in this area to address the park land deficit since there is no suitable vacant land available. Moreover, this service area is located between two regional-level parks, the City's Bill Frederick Park at Turkey Lake (173 acres) and the County-owned Lake Cane/Lake Marsha Park (111.2 acres), with a combined 284.2 acres. Policy 1.1.9 states that no new Neighborhood Parks will be developed in this service area.

Neighborhood Park Special Study Area D

The fourth Special Study Area, Area D, is located in the upper southeast area of the City of Orlando. Its boundaries include Curry Ford Road to the north, Pershing Avenue to the south, Goldenrod Road to the east, and Semoran Boulevard (SR 436) to the west (See Figure R-5D). Service Area D had a 2006 population of 10,028. According to the City's adopted LOS standard for Neighborhood Parks, this area has an existing surplus of approximately 5.36 acres. It is anticipated that this surplus will marginally decline to 5.26 acres of park land by the year 2030 due to a small increase in the residential population.

As detailed in the 1999 private recreational amenities study, the ratio of pools, tennis courts and racquetball courts to the population in this area is higher than NRPA guidelines, but less than that found in Service Area B. Much of the population in Special Study Area D resides in the Ventura mixed-use development. The residents of this development benefit from many recreational amenities, including the golf course, shuffleboard courts, horseshoe lanes, exercise course/trail, and an open space/picnic area located on Lake Frederica (12.88 acres in total). It should be noted that the Ventura development is a gated community so only those living there may use these facilities. Policy 1.1.10 of the Recreation Element states that the City of Orlando will not expend additional funds for the provision of Neighborhood Parks in this area.

Neighborhood Park Special Study Area E

The fifth Special Study Area, Area E, is located in the southeast area of the City of Orlando, north of Tradeport Drive, south of 4th Street, east of Orange Avenue, and west of Boggy Creek Road (See Figure R-5D). There are no neighborhood level parks in this area. The special study area consists exclusively of the Meadows single family residential subdivision which in 2006 had a population of 1,006 persons. According to the City's LOS standard for Neighborhood Parks, this area had a 2006 park deficiency of 0.75 acres, which will remain steady at 0.75 acres to the year 2030 if no new parks are developed. This area has access to the Cypress Park Elementary School recreational amenities, and the 45 acre SouthPort Community Park is in close proximity. As described in Recreation Policy 1.1.11, given the small size of the deficiency, and the alternative facilities available, the City will not purchase or develop a neighborhood park in this study area.

Neighborhood Park Special Study Area F

Area F, the sixth special park area, is located in southwest Orlando. This park special study area is experiencing widespread growth due, in part, to the Millenia Development of Regional Impact (DRI) and additional residential development is anticipated with the Gardens at Millenia project. There are approximately 8 acres of neighborhood level park land within the Park Central development.

In 2006, there were 6,791 residents in this special study area and there was a park land surplus of 2.91 acres. By 2030, the area is projected to have a population of approximately 19,528. Due to population growth, a small deficiency of 0.86 acres is projected by 2010, which is expected to grow to 4.20 acres in 2015, 6.19 acres in 2020, and 6.65 acres in 2030.

While this area is projected to grow, the reality is that the residential development is so spatially dispersed that developing neighborhood park land to serve everyone will be extremely difficult. It is noted that the Gardens at Millenia project will include neighborhood level park land concurrent with its development. Recreation Policy 1.1.17 states that LOS in this area will be met by the City-wide LOS standard. Policy 1.1.17 also states, that in order to meet future park needs, the City should pursue the development of one or several small neighborhood parks along the Shingle Creek Bike Trail, similar to Chapin Station on Orange County's West Orange Bike Trail, as resources permit.

Neighborhood Park Special Study Area G

Neighborhood Park Special Study Area G is a new park special study area, created as a result of this revised analysis. Area G is located in the International Drive area. Previously, this area was identified as a “non-residential” area. However, due to changes in the market, and the desire of people to live closer to their places of work, residential projects have begun to be proposed in this area. It is anticipated that there will be new multifamily projects such as Trocadero Village, the Cypress Creek PD and the Douglas Grand International project developed over the next 10 to 20 years. There are no neighborhood level parks in this area.

The 2006 population in this area was 558, which creates a demand of 0.42 acres. It is projected that the population will grow to 6,195 people by 2015, 7,869 people by 2020, and 10,593 people by 2030. Most of this population will be located in high-rise multifamily developments dispersed throughout the study area. It is anticipated that these developments will include their own private recreational amenities. New Recreation Policy 1.1.18 states that, due to the unique characteristics of this area, LOS will be met utilizing the City-wide combined community and neighborhood park standard and that no new neighborhood parks will be developed in this study area.

3.H. NON-RESIDENTIAL AREAS

There are certain areas in the City that do not have a residential population. These areas are predominately commercial and industrial areas, along with the Orlando International Airport and Orlando Executive Airport. There are no neighborhood-level park LOS standards applicable to these areas, which are depicted on Figure R-1 Part A – Future Parks Conditions Map.

4. ANALYSIS OF ACTIVITY-BASED AMENITY NEEDS

While the City does not have adopted LOS standards for individual activity-based amenities, it is imperative that a certain knowledge base be maintained in relation to the number and types of activity-based amenities that are needed to satisfy the recreational needs of the citizen of Orlando. The City’s inventory of activity-based amenities by park and park type is presented in Figure R-2.

Figure R-16 summarizes the City’s current and future recreational amenity needs based on National Recreation and Park Association (NRPA) guidelines, which were then modified by the City to match the characteristics and vision of Orlando’s citizens. The year 2030 surplus/deficiency numbers represent a worst-case scenario in which no new amenities are provided by 2030.

FIGURE R-16: ACTIVITY-BASED RECREATIONAL AMENITIES

Facility Type	Facility Development Standards	Facility Needs for 2006 City Population	Existing Facilities	Surplus or Deficiency	Future Needs for Future 2030 City Population	Existing Facilities	Surplus or Deficiency
Softball Field	1/5,000	45	40	-5	67	40	-27
LL Baseball Field	1/10,000	22	20	-2	33	20	-13
Soccer/Multi-Purpose Field	1/10,000	22	26	+4	33	26	-7
Swimming Pool	1/20,000	11	41	+30	17	41	+24
Basketball Courts	1/10,000	22	64	+42	33	64	+31
Tennis Courts	1/10,000	22	94	+72	33	94	+61

Notes: 2006 Baseline Population = 224,055; 2030 Population = 333,665

Summary of Ballpark LOS Needs

As discussed in the LOS section, Growth Management Plan (GMP) Policy 1.1.1 provides guidance for active amenities such as soft/baseball fields, little league field and soccer/multipurpose fields (ballfields). These guidelines, which are based on established National Recreation and Park Association (NRPA) standards, are not used for concurrency management but rather serve to guide park acquisition and development. While the need for ballfields was reviewed according to Community Park Sector, the following is a summary of needed upgrades.

It should be noted that since ballfields are generally provided according to population, to better understand future community needs, population estimates and projections from 2007 through 2030 were developed for each Community Park Sector. An analysis was also completed evaluating the current number of ballfields as well as the need for future facilities through 2030. Joint-use agreement ball facilities with the Orange Public School Board were also included.

At present, City-wide, there are forty (40) softball/baseball fields, twenty (20) little league baseball fields and twenty-six (26) soccer /multipurpose fields. In the near future, the City should develop an additional fourteen (14) softball fields, 8 little league fields and 6 soccer/multi-purpose fields.

The demand for these future facilities can be broken down into the six (6) Community Park Sector areas:

- Northwest Sector 1 currently needs 1 little league ballfield;
- Northeast Sector 2 currently needs 3 softball/baseball fields;

- Southwest Sector 3 currently needs 6 softball/baseball fields, 2 little league baseball fields, and 4 soccer/multi-purpose fields;
- Southeast Sector 4 currently needs 4 softball/baseball fields, 4 little league baseball fields and 2 soccer/multi-purpose fields;
- Southeast Orlando Sector Plan Sector 5 currently needs 1 softball/baseball field; and,
- Vista East Sector 6 currently needs 1 little league baseball field.

In order to meet the needs of the City’s projected 2030 resident population, the City will need to provide an additional 30 softball/baseball fields, 15 little league ballfields, and 13 soccer/multipurpose fields. The projected 2030 need by community park sector is as follows:

- Northwest Sector 1 will need 1 little league ballfield;
- Northeast Sector 2 will need 6 softball/baseball fields, 1 little league baseball field, and 1 soccer/multi-purpose field;
- Southwest Sector 3 will need 8 softball/baseball fields, 3 little league baseball fields, and 5 soccer/multi-purpose fields;
- Southeast Sector 4 will need 6 softball/baseball fields, 5 little league baseball fields and 3 soccer/multi-purpose fields;
- Southeast Orlando Sector Plan Sector 5 will need 7 softball/baseball fields, 3 little league baseball fields and 3 soccer/multipurpose fields; and,
- Vista East Sector 6 will need 3 softball/baseball fields, 2 little league fields, and 1 soccer/multipurpose fields.

5. IMPLEMENTATION STRATEGIES

5.A. FAMILY, PARKS AND RECREATION DEPARTMENT - ORGANIZATIONAL STRUCTURE

The Families, Parks & Recreation (FPR) Department is responsible for the both the City’s parks and recreational programs. The Department is made up of the Parks Division, the Recreation Division, Harry P. Leu Gardens, and Dubsdread Golf Course. The position of Parks Planning Manager, who reports directly to the FPR Director, was created in 2008.

Possessing a wide reaching mandate, the Parks Division is responsible for overseeing the parks, street tree canopy, rights of way, athletic fields and grounds throughout the City. The division is directly responsible for over 100 parks that are located throughout the City and which include

ecological, active and passive parks. The Parks Division also plans, designs and develops new parks and recreation related capital improvement projects.

The Recreation Division offers the citizens of Orlando quality recreational, fitness, cultural, as well as educational facilities and programs. The goal of the division is to meet the recreational interests and needs of the growing Orlando community, while providing high quality service. The division is comprised of 17 recreation centers, 10 pools, four parks, 67 athletic fields, 15 tennis courts, two tracks, four racquetball courts, 289 adult athletic teams, 137 youth athletic leagues and an extensive cultural arts program. Also under the direction of the Recreation Division is Lake Eola Park, Park of the Americas, the Orlando Skateboard Park, Festival Park, two senior centers and an exceptional recreation program for children with disabilities.

Family, Parks and Recreation manage two special facilities: the Harry P. Leu Gardens and Dubsdread Golf Course. Leu Gardens is a 50-acre botanic oasis which has the largest camellia collection in the United States, a tropical stream garden containing the largest banana collection in the U.S.A., a formal rose garden, and butterfly & herb gardens. In addition, Leu Gardens has demonstration gardens featuring an adaptive garden, teaching center and wildflower garden. Another notable facility is the historical Dubsdread Golf Course located just minutes from downtown Orlando. This Orlando classic course, recently renovated, features the oldest public layout in the area, originally designed in 1923.

5.B. 2008 EAR RECOMMENDATIONS – FUTURE FPR ACTIVITIES

During the development of the 2007 Evaluation and Appraisal Report (EAR), a number of activities were identified as being essential to the future development of recreation in the City of Orlando. These issues included:

1. The City of Orlando should prepare a Downtown Open Space Plan.
2. The City of Orlando should prepare a City-wide Greenways Trail Plan, in coordination with Orange County and the East Central Florida Regional Planning Council.
3. The City of Orlando should prepare a Strategic Plan for parks and recreation facilities.

Downtown Urban Open Space Plan

As the downtown population continues to grow and regional tourism expands, there is an urgent need for better coordinated inner city recreational resources. It is estimated that Downtown Orlando's resident population may grow by as many as 8,000 to 10,000 people in the next 25 years. A Downtown open space plan will be essential in effectively addressing the impact of the venues, downtown residential development, and public space that may be incorporated into the planned I-4 widening project.

The Downtown Urban Open Space implementation plan should be designed to deal with a diverse range of urban recreational amenities from streetscapes to light rail stops in an effort to

create lively, pedestrian-friendly streets, plazas and parks throughout downtown. Ideally, the plan should address the economic, ecological, social/cultural and health benefits of open space. A resource protection mission statement, with supporting goals, objectives and an action plan should also be included. In addition, given rising fuel costs, there should be an analysis of the City's proposed management and maintenance standards, as well as staffing requirements.

As other communities have found, the key to making an Open Space Plan successful is a commitment by government to work with developers. The plan should have provisions where staff can review proposed projects and introduce measures to ensure that new development will enhance an integrated public space network and support the City's new green policies. Developers should receive incentives for supporting the City's open space plan.

While the downtown area was addressed, as a whole, under the LOS analysis for Neighborhood Park Area 8, the following is a brief overview of the area's growing recreational demands according to the four emerging downtown areas: Uptown, Parramore Heritage, the Central Business District and Eola.

In the predominately high intensity office area of *Uptown*, situated north of W. Colonial Drive, open space and cultural linkages along tree-lined streets will be essential. As the gateway to the City's Cultural Corridor from the north, a focus should be made on establishing water-related art elements. An open space system will also have to be developed connecting established parks with new green spaces just west of Orange Avenue.

To the west of Orlando's central business district (CBD) is the *Parramore Heritage* area, an older established African American community currently undergoing widespread revitalization. To meet community recreational needs, interconnected landscaped corridors will have to be established. These corridors will guide pedestrian activity and connect the community's parks and open spaces to the other areas of downtown.

A number of community centers exist in Parramore including the Downtown, Callahan and Jackson Recreation Centers. The Jackson Recreation Center is the only center, in this area, with playing fields. Enhancing these existing facilities, developing the Wellsbilt African American Museum and establishing the westward expansion of the Downtown Arts District will be essential to connect this area to the central business district.

Within the Parramore Heritage-Centroplex area, a series of new green spaces will act as the central organizing element within the proposed Creative Village. Other community gathering places will be created at the new Parramore Heritage Park and the proposed Parramore Town Square. These areas will also serve as a catalyst for needed infill development. The Events Center, to be located at the corner of Hughey Avenue and West Church Street, will help anchor the FDOT Church Street Streetscape Project between Tampa Avenue and Interstate 4 and will enhance the walkability of this area and connect downtown to the Citrus Bowl.

South of the SR 408, along Terry Street, a new neighborhood park will serve the Griffen Park Public Housing development and the redeveloped Parramore Village. Carver Park, a new 203 unit mixed use, mixed income Hope VI project will include a three (3) acre lake serving the dual purpose of being a water feature and a retention area. Also, Lorna Doone Park, the parks surrounding Lake Dot and Lake Lucerne, the Callahan Neighborhood Center, and other existing parks, will be linked by bike paths and landscaped streets which will add additional urban open space and recreational functions to the entire downtown area.

As a family-oriented downtown, the *Central Business District* (CBD) will be the heart of the cultural and performing arts districts where citizens and visitors can gather at the proposed Performing Arts Center or visit the proposed theaters, galleries, museums and parks connected by art and cultural elements. Public art and seating areas will be needed in this area to complement the venue activities. The plan should address opportunities to provide public plazas on properties that are being redeveloped.

Eola is the most southern and the most residential district of the downtown area. *Eola* community residents will also enjoy expanded park and open space opportunities through the introduction of a new crescent park. These areas, in a predominately urban-scale multifamily milieu, will provide community gathering places and other opportunities for social interaction.

Improved pedestrian-friendly streetscapes will connect the *Eola* communities north of Robinson Street and south of the East-West Expressway. Enhanced connections to Lake *Eola*, a forty-three acre multi-use park which is City of Orlando landmark, will also link the Washington Street and Osceola neighborhood commercial districts, all the while improving views of and access to Lake *Eola* for all Orlando residents.

Greenway Trails Plan

In January 2003, the City of Orlando published the Green Network Report. This report identifies and describes the various components of the City of Orlando's public realm which addresses traditional public places such as parks, open space, conservation areas, lakes, public buildings, and "third" places as well as more modern concepts such as the street network, bike/pedestrian system and greenway trails.

Green space was once simply identified as land that had not yet been developed. Now, green space is recognized as a basic community necessity that should be planned and developed as an integrated open space system. Offering an alternative transportation modality, residents can use a greenways trail to walk to school or bike to work. Wildlife, too, benefits from a trail by having important access to stream corridors, wetlands and forested areas all of which may be crucial to their survival. Most importantly, green networks know no economic boundaries and can run through poor neighborhoods and rich ones alike, democratically bringing peace, quiet and reaction opportunities to everyone's reach.

Orlando's Green Network initiative provides a blueprint, or more appropriately a greenprint, for long-range planning. The plan is similar to a long-range transportation plan, except routes are green and natural, rather than paved. By creating a framework for future growth, it ensures that significant natural and cultural resources will be preserved for future generations.

Clearly, Orlando's vision of a fully integrated Green Network can be incorporated into all of our planning efforts. Coordination is key. Orlando will need to coordinate with other local governments, MetroPlan Orlando, the Florida Department of Transportation, the Florida Department of Environmental Protection and most importantly the East Central Florida Regional Planning Council in order to effectively plan for meaningful connections to the state greenway system. As part of this process, a formal greenways trail plan needs to be created to coordinate efforts and resources.

Strategic Plan

The collective lifestyle of Orlando residents is dependent on the provision of diverse recreational and cultural opportunities. The purpose of the City of Orlando's Recreation and Open Space Element is to establish the framework for fulfilling the community's vision for a more beautiful, pleasant urban environment and to identify necessary recreational and cultural opportunities for the maintenance of mental and physical health. The goals, objectives, and policies within the Recreation Element are specifically designed to help guide the provision of these important services in the most efficient and effective way possible.

Given the breadth of improvements that are needed, in the short term, the City (Family, Parks and Recreation Department) should develop a strategic plan. A strategic plan would assist in prioritizing the use of the staff and resources and will help guide future activities and budget decisions. The plan should be flexible and be designed to address planning needs and priorities at a three, five and ten year period. It is anticipated that a Request for Proposal (RFP) for the Strategic Plan will be issued in the summer of 2008 with completion in 2009.

One of the priorities of the Strategic Plan should be to revisit the LOS standards for all types of parks. In addition, the Strategic Plan should also explore adopting a LOS standard for amenities. This analysis should also address parks, activity amenities and recreation programming in a holistic manner. Also, of particular importance is planning for the long-term funding and creation of ballparks. Effectiveness of Joint use agreements and the need for additional agreements, methods for integrating parks needs analysis with development review.

5.C. ACTIVE LIVING BY DESIGN

Active Living By Design (www.activelivingbydesign.org) is a national program of the Robert Wood Johnson Foundation and is part of the North Carolina Institute for Public Health at the UNC School of Public Health in Chapel Hill, North Carolina. The program established innovative approaches to increase physical activity through community design, public policies and

communications strategies. The program has funded 25 community partnerships across the country including one in Orlando called *Get Active Orlando*, in order to demonstrate how changing community design can impact physical activity and improve public health.

Active living is defined as a way of life that integrates physical activity into daily routines, with the goal of accumulating at least 30 minutes of activity each day. Individuals may achieve this goal by walking or bicycling for transportation, exercise or pleasure; playing in the park; working in the yard; taking the stairs and using recreation facilities.

Get Active Orlando (www.getactiveorlando.com) is a community-wide initiative that aims to encourage all Orlando citizens to be active as part of daily living. There are a number of partners within the Get Active Orlando initiative, including the City of Orlando, MetroPlan Orlando, the Orange County Health Department, Rippe Health Assessment, Orlando Health, Orlando Neighborhood Improvement Corporation, Florida Bicycle Association, Florida Freewheelers, and the University of Central Florida. In addition to marketing efforts to remind people of the importance of daily physical activity, *Get Active Orlando* supports and encourages changes in urban design, land use and transportation policies to cultivate and support active living, a way of life that integrates physical activity into daily routines.



Strategies

Active Living by Design has identified five implementation strategies, consisting of: Preparation, Promotion, Programs, Policy and Physical Projects. These strategies represent a comprehensive approach to increasing physical activity in the community.

Preparation consists of developing and maintaining a community partnership to work collectively (*Get Active Orlando*). This strategy also entails collecting relevant data to inform program planning and pursuing financial and other resources. Specific tactics include:

- Developing and maintaining a partnership, coalition, task force or advisory board that promotes active living.

- Conducting neighborhood assessments to identify opportunities for and barriers to active living.
- Identifying and evaluating current master plans, ordinances and design guidelines that affect active living.
- Identifying and generating financial and in-kind resources for local active living groups and projects through grant writing and other fund-raising efforts.
- Providing training for local active living advocates to build the skills necessary for affecting community changes.
- Creating interest groups to promote active living environments, such as parks, trails, greenways, and higher density mixed-use developments.
- Creating “Friends of the Trail” groups to build community ownership of trails and help maintain them.

One of the most important organization aspects of this program is the wide range of partners involved. The *Get Active Orlando* program is truly a working partnership of citizens, advocates, community leaders and professionals from various disciplines including public health, health/medical providers, city planning, transportation, parks and recreation, landscape architecture, community development, housing. It is understood that a diverse collaborative partnership ensures a range of contribution and constant feedback on interdisciplinary issues and challenges.

Promotion or communications efforts, the second strategy, is vital to the success of any Active Living program. Specific messages include the benefits of active living and the importance of community environments in promoting healthy living. Tactics include:

- Developing active living messages and an awareness campaign based on targeted community research (focus groups, surveys, and testing).
- Informing officials and local leaders about the partnership through meetings, publications, and onsite visits.
- Becoming a resource for the media and community on active living issues.
- Educating editorial boards and media outlets about ways of encouraging active living.
- Conducting and participating in community events that can educate the public and media about active living.
- Creating community wide campaigns via television, radio, newspapers, the Internet and mailings.
- Partnering with local organizations to utilize their communications channels (i.e., newsletters, bulletin boards, websites and list-serve).
- Installing point-of-decision prompts and cues to action in and around public and private places to promote physical activity.
- Providing public recognition for developers, designers and local governments that demonstrate good practices.

Promotion strategies should also help to ensure that other policy, programmatic and infrastructure goals are successfully achieved.

Programs, the third strategy, are organized on-going activities that engage individuals in physical activity either directly or indirectly. Active living programs provide direct access to physical activity opportunities, such as City recreation programs (soccer, swimming, softball, youth football, etc.), walking clubs or bicycle recycle initiatives. Other programmatic approaches reward individuals for adopting more active habits through incentives or other encouragements, such as benefits for employees or students who walk or bike to work or school. As an example, the City of Orlando offers free bike lockers, larger gym lockers, and shower facilities for employees who bike to work. Specific tactics include:

- Organizing walking, running, biking or other clubs to promote social support for physical activity.
- Starting Safe Routes to School programs to encourage children to bicycle or walk to school.
- Creating commuter choice or other workplace incentive programs that promote the use of public transit, ridesharing and active forms of travel.
- Targeting physical activity and fitness programs toward various segments of the community, such as youth, older adults, employees, women, people of color and people with disabilities.
- Encouraging more programs to take place at local parks, trails and greenways.
- Establishing regular programs to attract people to a walkable town center (such as farmers markets, arts festivals, etc.)
- Creating bicycle maintenance, safety education and recycle programs.
- Starting neighborhood watch and safety walks to create safe communities.

Policy development, the fourth of five strategies, is the key to institutionalizing health-supportive environments. Active living partnerships should identify and attempt to influence changes in public policies and standards as well as organizational practices. These efforts include advocacy, relationship building with policy makers, presentations to policy boards, and influencing employer or school policies. In general, policy tactics are those that end with a policy change (i.e., adoption of greenway master plan, pedestrian friendly street design guidelines, etc.) Specific tactics include:

- Establishing a close and consistent link between land use and transportation plans and priorities.
- Approving local ordinances and other policies that are consistent with land use and transportation plans that promote active living.
- Updating road policies, standards, parking requirements and fees to improve connectivity, safety, street design and incentives for transit and active transportation.

- Updating land development codes, building codes and approval processes to encourage compact community design and a tighter mixture of activities which make it possible to work, play, shop and go to school within walking and bicycling distance of people's homes.
- Improving funding for pedestrian and cycling-oriented capital improvements and public transit.
- Adopting a pedestrian charter to ensure that walking becomes an increasingly safe, comfortable and convenient mode of travel.
- Enacting ordinances, codes, and other policies that encourage owners to build on vacant lots and revitalize vacant properties.
- Advocating for subdivision ordinances that require accommodations for walking and bicycling.
- Participating in local and regional decisions that improve funding and planning for parks, trails, and greenways.
- Enhancing local school district requirements to ensure that students in grades K-12 participate in daily physical education classes.
- Enacting policies that make available school physical activity facilities after school hours to students and the public.
- Establish worksite policies that encourage employees to be physically active.

Inclusion of the *Active Living By Design* concept into the City's Growth Management Plan represents a direct policy change and shows the City's commitment to implementing the tenets of this program. Coupled with other sustainable development practices, such as encouraging walkable mixed use development, transit oriented development and multi-modal transportation system design, and by embarking on a strategic park planning effort which includes greenway planning, it is evident that Orlando intends to lead in creating a sustainable, healthy community.

Finally, *Physical Projects* are strategies that directly impact built environments, removing barriers to physical activity and enhance safety (i.e., trails, pedestrian improvements at intersections, etc.). While the built environment is heavily determined by public policies, active living partnerships should also look for opportunities to improve physical spaces that do not rely on a policy decision per se. Physical projects include a wide range of sizes from community trails to sidewalks to signage pointing out simple active living opportunities such as taking the stairs. Specific tactics include:

- Building physical infrastructure such as sidewalks, bike lanes, and trails which encourage walking and bicycling.
- Using traffic calming measures to make walking and bicycling safer and more comfortable.
- Providing interconnected networks for pedestrians and bicyclists that are as functional and accessible as those for motorists.

- Increasing the availability of high quality transit service within walking distance of residential, work and shopping areas.
- Converting out-of-service rail corridors into trails.
- Incorporating areas for secure bicycle storage in building designs.
- Developing places that integrate different activities and destinations that encourage physical activity.
- Placing higher density housing near commercial centers, transit lines, parks, schools, and work sites to encourage routine walking and bicycling.
- Creating a sense of place in commercial centers or districts to encourage walking.
- Reviving community gathering places and adding or renovating housing to help create a safe, walking environment.
- Designing neighborhoods to be safe and aesthetically pleasing to bring people together, encourage physical activity and decrease crime.
- Developing parking lots that provide for a continuous and attractive streetscape, safe pedestrian and bicycle access to buildings, and opportunities for shared use.
- Designing human-scale environments that make pedestrian feel comfortable.
- Installing signage to highlight active transportation routes and places that support active living.
- Linking parks, trails and greenways to local destinations of interest to ensure that walking and bicycling trips are as convenient as using a car.
- Designing parks, trails, and greenways to deter crime and enhance safety.
- Designing parks, trails, and greenways with multiple users in mind and ensuring that these facilities are regularly maintained.

Short Term Changes

Active Living By Design, and by extension *Get Active Orlando* and the City of Orlando, anticipate successful implementation of the five “P” strategies will result in critical initial outcomes that can motivate active living advocates and help residents recognize the influence they can have in their community and neighborhoods.

The engine of a successful active living movement in a community is a partnership or collaborative of diverse people and organizations. Partnerships are vital for active living because they can bring together the many disciplines that have influence in a community, such as public health, urban planning, transportation, recreation, architecture and others. A capable partnership can consider the range of perspectives related to active living issues and can advocate for policy changes and physical projects as one voice.

Both targeted and community-wide promotions will result in greater awareness of active living. Appropriate audiences include government officials, community leaders, residents, and specific priority populations, such as older adults, children, and low income women. Greater active living awareness includes the health benefits of physical activity, tips for leading more active

lives, existing opportunities for physical activity, and the role of the built environment for a healthy community. Increased media coverage on active living issues and events can play a key role in shaping public opinion.

Increased access to programs will increase opportunities and social support for physical activity. By expanding existing programs and developing new ones, individuals will encounter many options for regular physical activity nearby their home, work, and school.

Policy changes are important for the active living movement because the built environment is typically shaped by ordinances, master plans, design guidelines, and government rules and protocols.

A final short term change is a mobilized community that proactively seeks to create a healthier environment. Community participation in an active living movement is essential for building a constituency that supports change. The number of engaged residents will also grow as neighborhood leaders participate in active living events and spread their enthusiasm to neighbors.

Intermediate Changes

The goal of *Active Living by Design* is to help create environments with comprehensive supports for active living. The program envisions communities in which physical activity opportunities have been “mainstreamed,” where residents have easy access to physical activity programs and local officials consider healthy environments to be a high priority. Workplaces, schools, and other organizations will provide regular incentives and encouragement for physical activity. Elected leaders and other government officials will support active living through public policies and decision-making processes that routinely consider the impact of community design on health. Healthy community environments will provide safe, convenient, and integrated facilities such as sidewalks, greenways, and neighborhood parks that make it easy to be active.

Health and Lifestyle Changes

The active living movement relies on many disciplines and the potential impacts can benefit air quality, traffic congestion, and quality of life; yet the primary rationale is to improve human health by increasing physical activity levels. The scientific evidence linking the built environment to physical activity is established and growing. It is also well documented that active people, i.e. those achieving the recommended of 30 minutes of moderate intensity physical activity on most days, are less likely to develop chronic diseases. Healthy communities are designed to allow most school children walk or bicycle to school. In addition, more and more adults will make active choices and incorporate physical activity into everyday routines. Finally, people who can most benefit from increased physical activity are able to lead active and healthy lives in environments that support those lifestyles. The City of Orlando is dedicated to working with *Active Living by Design* and *Get Active Orlando* in implementing our shared goals

and strategies, and this GMP has been specifically developed with such goals and strategies in mind.

5.D. FUNDING

The City of Orlando has a long-term commitment to funding and providing quality park and recreational facilities. In both the General Fund and the Capital Improvement Program (CIP), spending levels for park renovation, repair and replacement have been consistently high. Figure R-17 details the City's spending patterns in connection to capital improvement program while Figure R-18 displays repair and renovation costs versus new park development expenditures.

Funds acquired through the Capital Improvement Program (CIP) over the last six years have shown, with the exception of 2005-2006, an overall decline. Typically, as in the past, the total amount of funds for approved capital projects in the City's budget, has consistently favored repair and replacement/renovation over new park development. City's park acreage has mostly grown due to private donations of park land from developers or grant acquisition funds. Thus while the overall amount of acreage of parks has grown, the total parks budget (see Figure R-19) has not grown. Because the Capital Improvement Program (CIP) has very limited resources, projected funds for a number of park development projects were either rejected or continuously pushed back.

There are not enough funds available to correct all of the City's service demand conditions, at least within the funding system that has been in place over the past twenty years. This fact has manifested itself as it concerns new community and neighborhood parks. While a number of Orlando's new park development have been made possible due State and Federal grants, often grant funding conditions or monitoring requirements make it difficult for the City of Orlando to pursue these opportunities.

FIGURE R-17: FAMILIES, PARKS AND RECREATION – CAPITAL IMPROVEMENT PROGRAM

	Actual FY 2002/03	Actual FY 2003/04	Actual FY 2004/05	Projected FY 2005/2006	Estimated FY 2006/2007	Estimated FY 2007/2008
Dept. Budget	\$12,325,404	\$10,409,443	\$10,938,244	\$11,645,841	\$10,930,081	\$10,855,018
Budget Per Capita	\$63.23	\$51.56	\$52.36	\$53.52	\$48.78	\$47.22

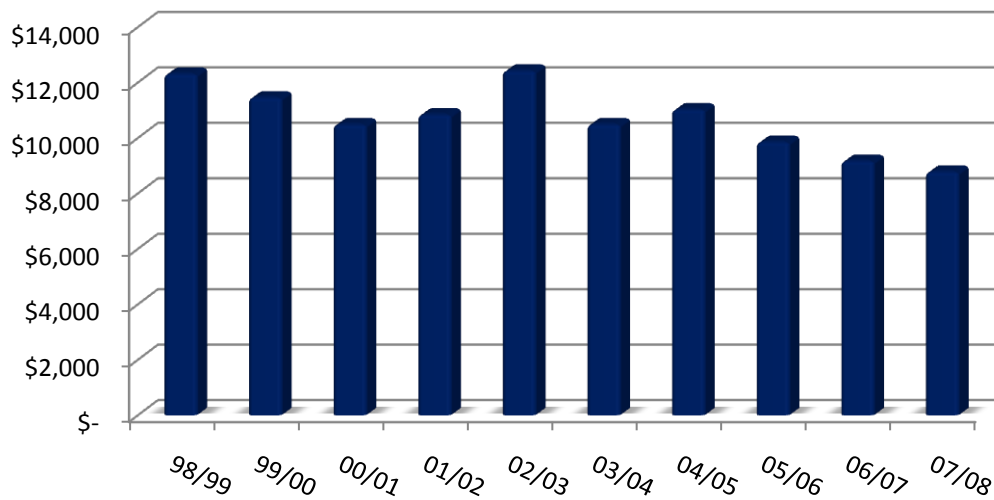
Source: City of Orlando, Division of Management and Budget, Finance Department, 2007-2008.

FIGURE R-18: PARK COST COMPARISON/CAPITAL IMPROVEMENT PROGRAM

Fiscal Year	Repair and Replacement/ Renovation	New Park Development
2007/2008	\$1,984,624	\$0
2007/2006	\$2,575,100	\$0
2005/2006	\$1,727,760	\$500,000
2004/2005	\$1,209,800	\$100,000
Four Year Total	\$7,497,284	\$600,000

Source: City of Orlando, Division of Management and Budget, Finance Department, 2007-2008.

FIGURE R-19: PARKS DIVISION BUDGET PER ACRE OF PARK LAND



Sources: City of Orlando, Division of Management and Budget, Finance Department, FPR Department, 2008.

The Family, Parks and Recreation Department is actively working with the City’s Grants Coordinator to identify suitable grant opportunities. That said, due to limited funding, dedicated alternative funding strategies are required in order to meet the future service needs of City residents. A number of alternatives have been examined, including impact fees, an Orange County/City of Orlando consolidated parks program and mandatory park land dedication for neighborhood parks.

Impact fees for the development of new park and recreation facilities have been examined in order to determine if they would be a feasible alternative funding source. In the past due to growth patterns which tend to continue to disperse growth, it was determined that an impact fee for neighborhood parks would be infeasible. Currently, based on increasing development in the south-east and redevelopment downtown, recreation exaction or impact fees may now be feasible. Moreover, despite the criticism that these fees pose a significant burden on the cost of new housing, sources show that in the majority of instances, park and recreation impact fees

generally add no more than one percent to the cost of a new home spread out over a thirty year VA, FHA or conventional loan (Mertes, James D., and James R. Hall. Park, Recreation, Open Space and Greenway Guidelines. Washington, D.C.: National Recreation and Park Association, 1995, page 89). Impact fees should be revisited during the strategic planning stage. It should be noted that the most successful funding mechanism introduced by the City of Orlando has been mandatory park land dedication in the Southeast Orlando Sector Plan area, Baldwin Park and other large developments.



The City of Orlando has been and continues to be dedicated to the provision of visually pleasing parks and recreational facilities. Orlando understands and accepts its role in the creation of sustainable and livable neighborhoods and is proud to continue the legacy of the City Beautiful.