



SEMORAN BOULEVARD SPECIAL PLAN

DESIGN & TECHNICAL SPECIFICATIONS MANUAL

JUNE, 2011



CITY OF ORLANDO
ECONOMIC DEVELOPMENT DEPARTMENT

Prepared by the Community Planning Studio

INTRODUCTION

The Semoran Boulevard Special Plan Design & Technical Specifications Manual contains technical specifications referenced in the Semoran Boulevard Special Plan (/SP) Overlay Zoning District (Ordinance 2011-15).

The Planning Official will use the technical specifications found in this Manual to determine compliance with the Semoran Boulevard Special Plan (/SP) Overlay Zoning District and consistency with the Semoran Boulevard Vision Plan.

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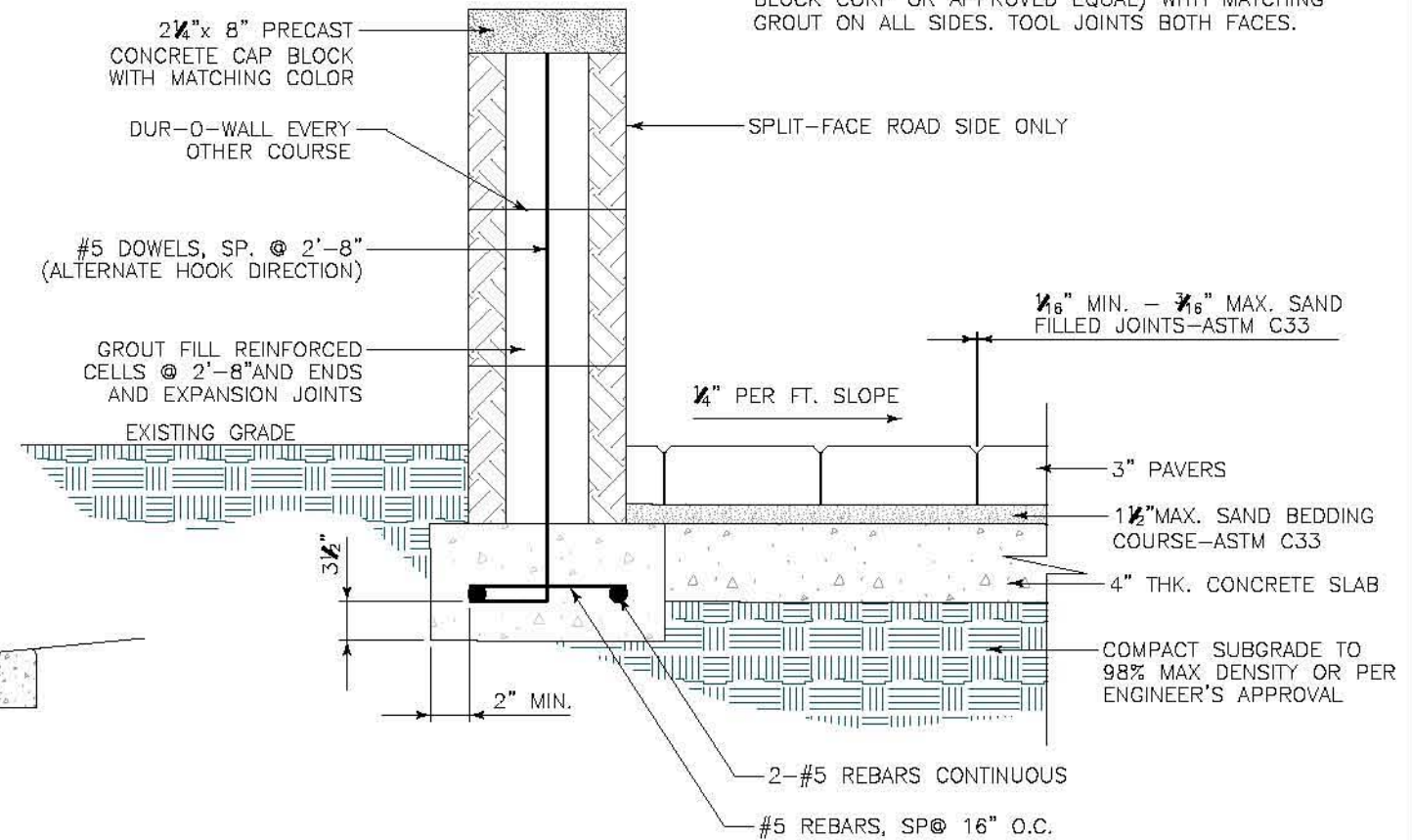
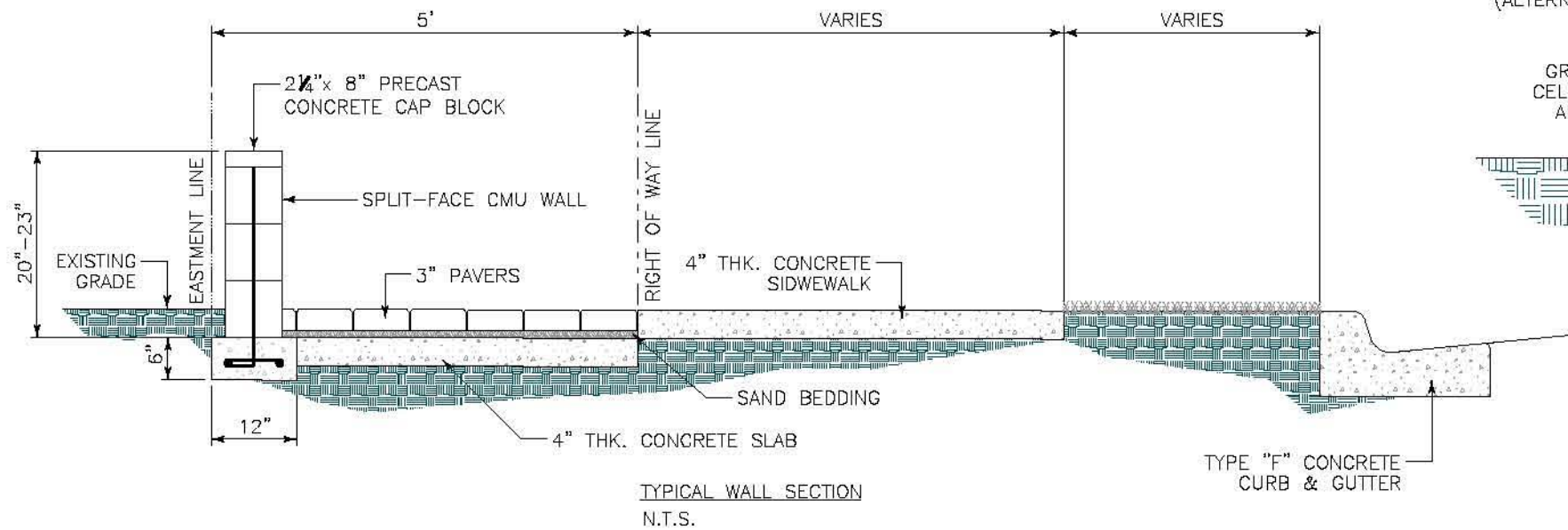
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STRUCTURAL NOTES FOR WALL

1. CONCRETE
 - A. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS: 3000 PSI
 - B. REINFORCING STEEL: ASTM A-615, GRADE 60
2. MASONRY
 - A. 8" HOLLOW BEARING UNITS GRADE N, NORMAL WEIGHT, CONFORMING TO ASTM C90, F'm=1500 PSI.
 - B. MORTAR: TYPE M, ASTM C270.
 - C. GROUT: ASTM C476, MAX. AGGREGATE SIZE $\frac{3}{8}$ ", MIN. COMPRESSIVE STRENGTH: 2500 PSI
 - D. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM.
 - E. MIN. LAP REINFORCEMENT SHALL BE 48 BAR DIAMETERS.
 - F. SPLICE WIRE REINFORCEMENT AT 6" MIN. AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6".

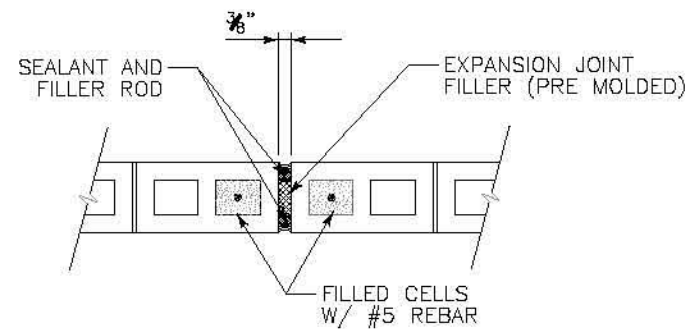
NOTES:

1. COAT STREET SIDE OF ALL CONCRETE BLOCK WALL WITH PWS-15, OR APPROVED EQUAL. MANUFACTURED BY PROFESSIONAL PRODUCTS OF KANSAS, INC., 4456 S. CLIFTON, WICHITA, KS 67216, (800) 676-7346, (316) 522-9300, FAX (316) 522-9346,
2. ALL COURSES OF 8"x8"x16" CMU BLOCK ARE SPLIT FACE ON STREET SIDE WITH S-182 COLOR (BY A1 BLOCK CORP OR APPROVED EQUAL) WITH MATCHING GROUT ON ALL SIDES. TOOL JOINTS BOTH FACES.



NOTES:

1. RETAINING WALLS SHALL BE BROKEN INTO PANELS OF 20' IN LENGTH BY MEANS OF VERTICAL CONTROL JOINTS. CONTRACTOR TO SUBMIT SHOP DRAWING
2. DISCONTINUE JOINT REINFORCEMENT AT EXPANSION JOINT.



**HARDSCAPE & KNEE-WALL:
MU & AC DISTRICTS**

Property abutting the westside of Semoran Boulevard from Kalmia Drive on the north to Andora Street on the south, and abutting the eastside of Semoran Boulevard from Dahlia Drive on the north to Curry Ford Road on the south, must install and maintain hardscape and knee-wall in conformance with this detail.

PRINT DATE & TIME: 3/24/2011 8:48:24 AM
F:\Dgn\2592-Wal\Bruce\KNEE-CMU WALL.dgn

DATE	BY	DESCRIPTION	REVISION

SIGN OFF	DATE	SURVEYED BY:	ENGINEER'S CERTIFICATION
			I hereby certify that the attached plans and design are in general compliance with the design standards and criteria in effect on this date for the City Of Orlando Public Works Department.
		DRAWN BY: MJ	
		DESIGNED BY: CCC/MCJ	
		CHECKED BY: CCC	
		DATE: 3/24/2011	



CITY OF ORLANDO
DEPARTMENT OF PUBLIC WORKS
CAPITAL IMPROVEMENT AND INFRASTRUCTURE DIVISION
400 SOUTH ORANGE AVENUE, 8th FLOOR, ORLANDO, FLORIDA 32801

JOB NUMBER:	2592
FILE NAME:	Sheet-02-DET
ARCHIVE DISC:	
SCALE:	HORIZ.= N.T.S.
VERT.=	

KNEE-HIGH WALL DETAILS

2

STREET FURNITURE

Where permitted by the Semoran Boulevard SP Overlay District, the City may install and/or approve the private installation of street furniture, subject to the following conditions:

- a. The type and location of all street furniture must be approved by the Zoning Official.
- b. No more than one piece of street furniture may be located in front of any one principal building, and no more than two pieces of street furniture may be located along the street front of any shopping center.
- c. Street furniture shall not be located within the public sidewalk along Semoran Boulevard.
- d. Existing street furniture – Any street furniture existing on the SR 436 sidewalk as of the Effective Date of the Semoran Boulevard SP Overlay District may remain, but shall be moved from the sidewalk to the abutting City Services Easement or public pedestrian zone within 90 days after the easement or zone is established. Whenever such existing street furniture is removed no new street furniture shall be installed except in accordance with this Special Plan Overlay.
- e. Each piece of street furniture may incorporate not more than one “on-site” sponsor sign.
- f. Design specifications for street furniture signs shall be similar to the name plate allowed for a home occupation – maximum area: 3 sq. ft.
- g. Street furniture signs may not be the sole sign for the sponsoring business.

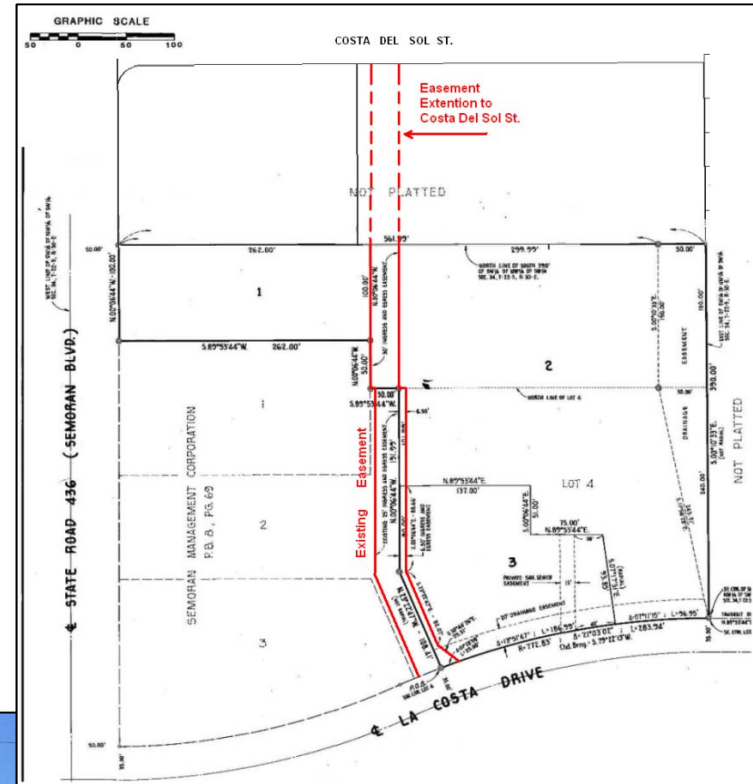


REAR ACCESS EASEMENT

The Semoran Boulevard SP District requires commercial parcels on the east side of Semoran between Costa Del Sol Street on the north and La Costa Drive on the south to be connected by a continuous rear-access driveway easement. The map and image below show the location and appropriate design for this easement.

Each amendment to the existing easement document (i.e. for the portion of the easement located on or abutting the subject building site) should include provisions:

- extending the easement north to Costa Del Sol Street (where applicable),
- stating the owner’s acceptance of joint responsibility with all the affected owners for the cost of continued repair and maintenance of the ingress/egress easement based upon percentage of building site frontage along the easement, and
- establishing a legal entity among the affected property owners for the purpose of maintaining and repairing the access drive within the ingress/egress easement in perpetuity.



Above: Location of Rear-Access Easement

At left: Image of Rear-Access Easement with improvements.

MONUMENT SIGNS - OFFICE DISTRICTS



TYP. LOCATION AFTER
N.T.S.



TYP. LOCATION BEFORE
N.T.S.

OPTION A

SPECIFICATIONS - OPTION A:

FABRICATE & INSTALL D/F NON-ILLUMINATED POST AND PANEL SIGNS (EXACT AMOUNT T.B.D).

PANELS - 1/8" THICK ALUM. PAINTED 313-E DK BRONZE SATIN ENML.

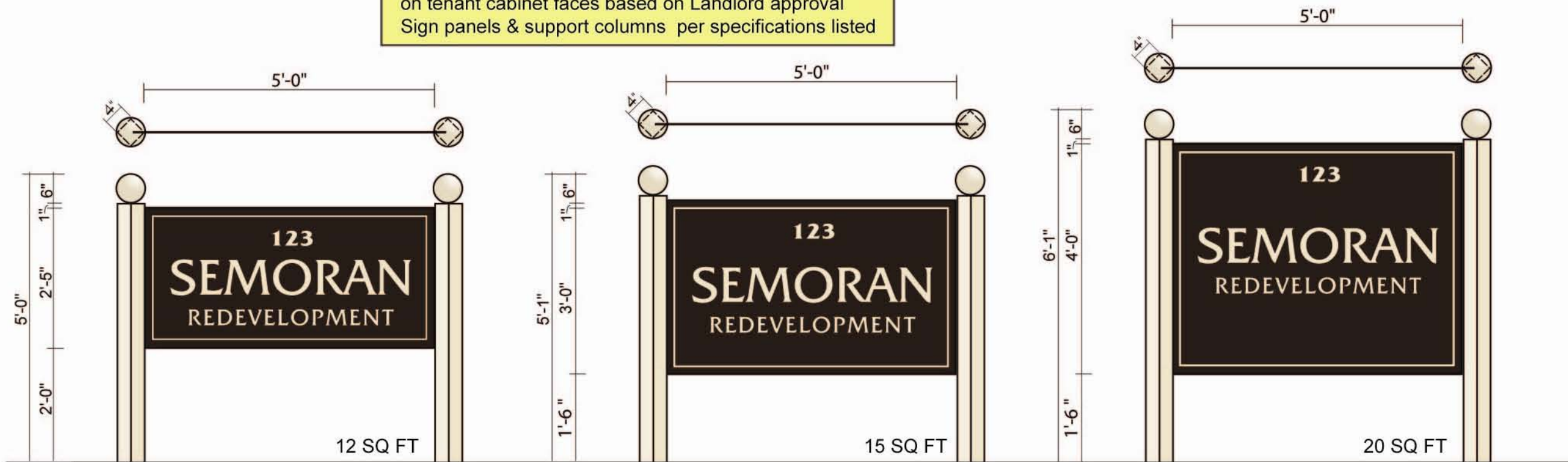
POSTS - 4" X 4" ALUMINUM PAINTED SW #6393 CONVIVIAL SATIN ENML.

COPY & BORDER & ADDRESS - 220-99 FAWN VINYL APPLIED TO FACES AS SHOWN.

FINIALS - 6" ROUND ALUM. PAINTED SW #6393 CONVIVIAL SATIN ENML.

NOTE: LANDSCAPING NOT INCLUDED.

Note: Client font, logo & color allowed on tenant cabinet faces based on Landlord approval
Sign panels & support columns per specifications listed



OPTION A-1
D/F DISPLAY

OPTION A-2
D/F DISPLAY

OPTION A-3
D/F DISPLAY SCALE: 1/2" = 1'-0"

MONUMENT SIGNS - OFFICE DISTRICTS



TYP. LOCATION AFTER
N.T.S.



TYP. LOCATION BEFORE
N.T.S.

OPTION B

This is the required option for:

SEMORAN OFFICE DISTRICT - SOUTH
SEMORAN OFFICE DISTRICT - NORTH

SPECIFICATIONS - OPTION B :

FABRICATE & INSTALL D/F NON-ILLUMINATED DISPLAYS. EXACT AMOUNT T.B.D.

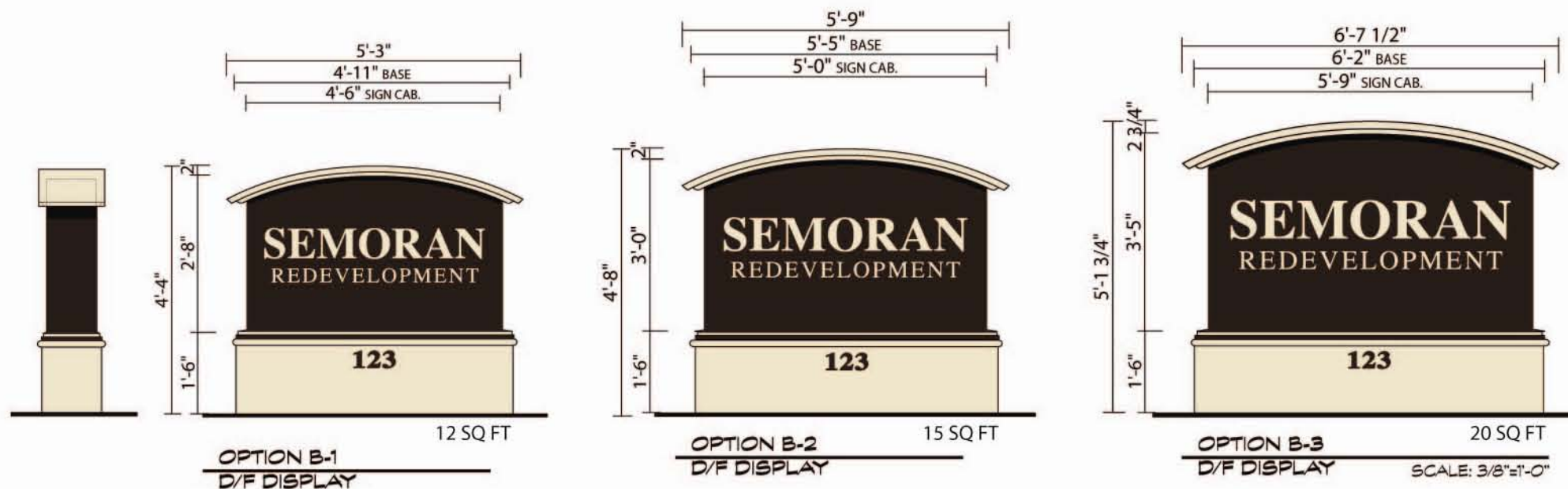
DISPLAYS FABRICATED ALUM. CONST. FINISH DISPLAY SMOOTH SATIN ENML. FACES TO BE REMOVEABLE W/ COUNTER SUNK SCREWS. FINISH ID FACES & FILLER 313-E DK BRONZE.

COPY - 220-99 FAWN VINYL APPLIED TO FACES AS SHOWN.

DECOR TRIM & BASE - ALUMINUM W/ MED SAND TEXTURE ROOF CAP, TOP & BTM HORZ. TRIM & BASE PAINTED SW #6393 CONVIVIAL SATIN ENML. CENTER HORZ. TRIM - PTD 313-E DK BRONZE (SMOOTH FINISH)

ADDRESS NOS. - FLAT CUT OUT 1/4" THICK ALUM. STUD MTD FLUSH. PTD 313-E DK BRONZE

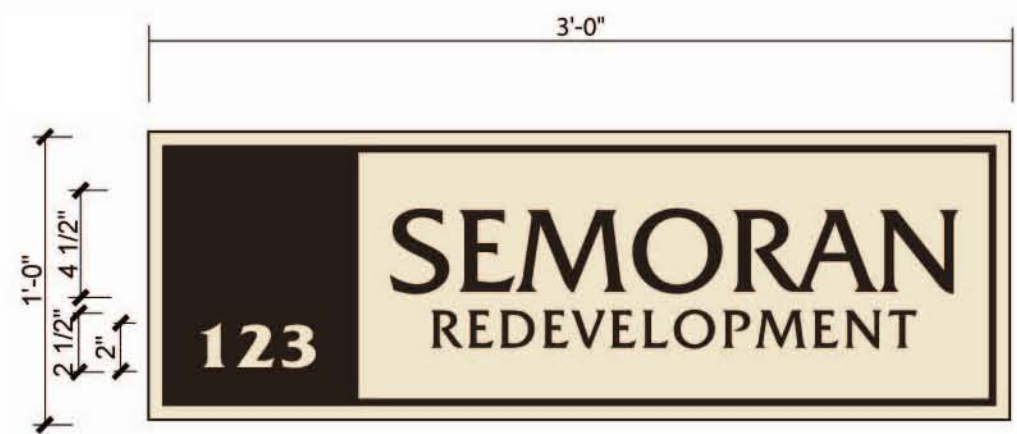
NOTE:
LANDSCAPING NOT INCLUDED.



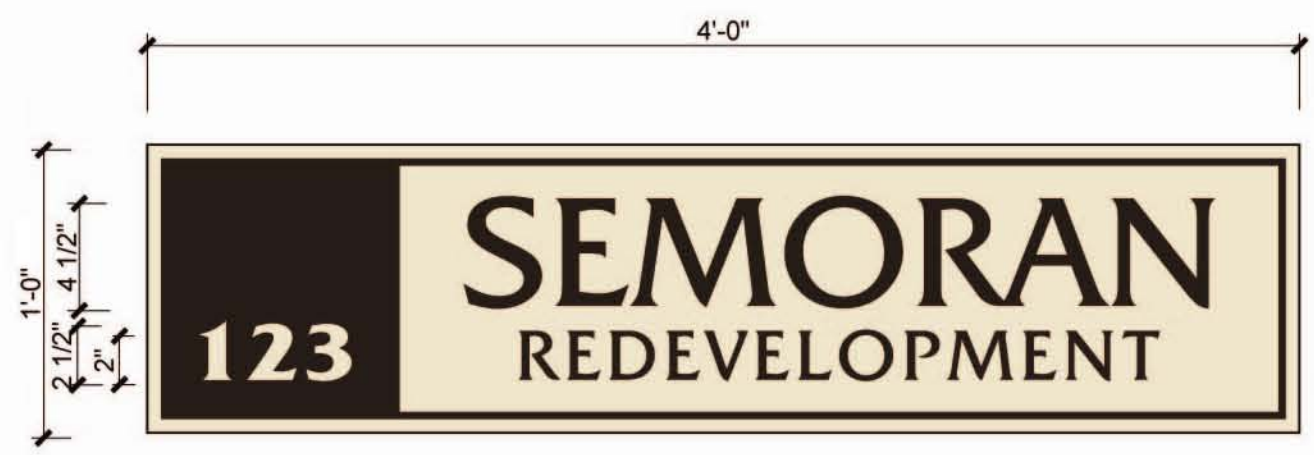
Note: Client font, logo & color allowed on tenant cabinet faces based on Landlord approval
Sign panels & support columns per specifications listed

BUILDING MOUNTED SIGNS - OFFICE DISTRICTS

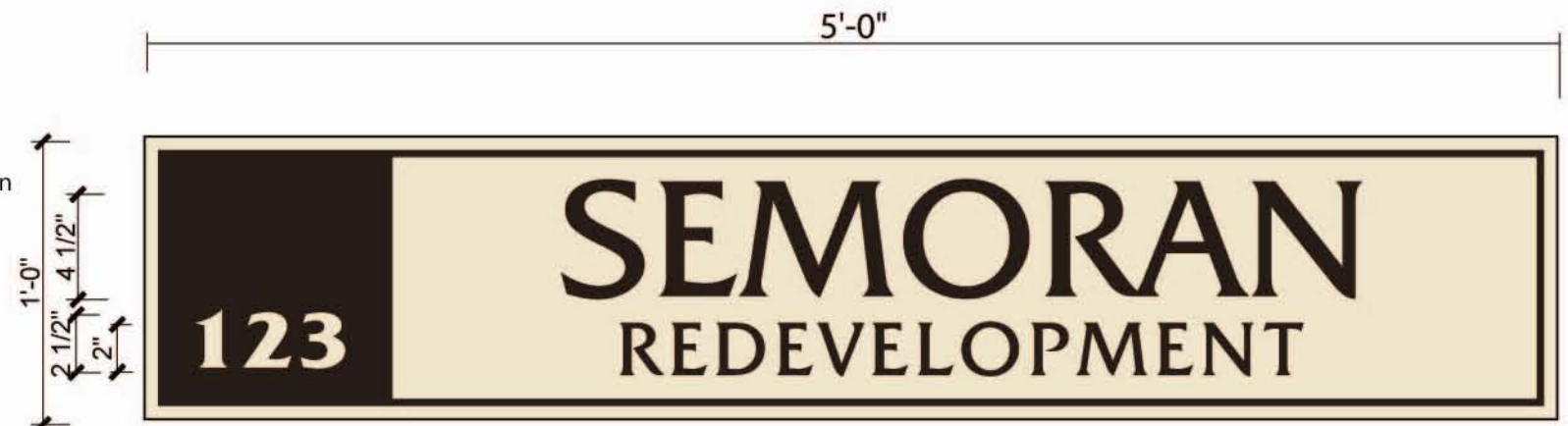
Note: Client font, logo & color allowed on tenant cabinet faces based on Landlord approval
Sign panels & support columns per specifications listed



OPTION 1 NON-ILLUM. WALL SIGN
1 1/2"=1'-0"

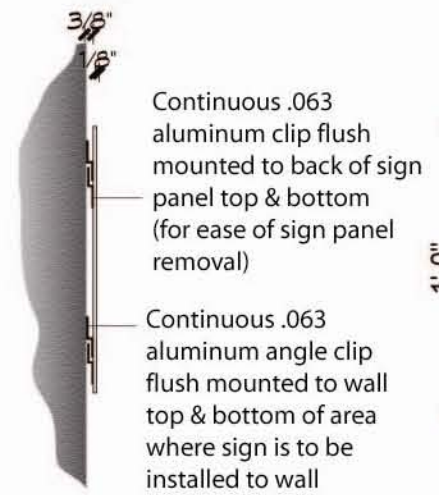


OPTION 2

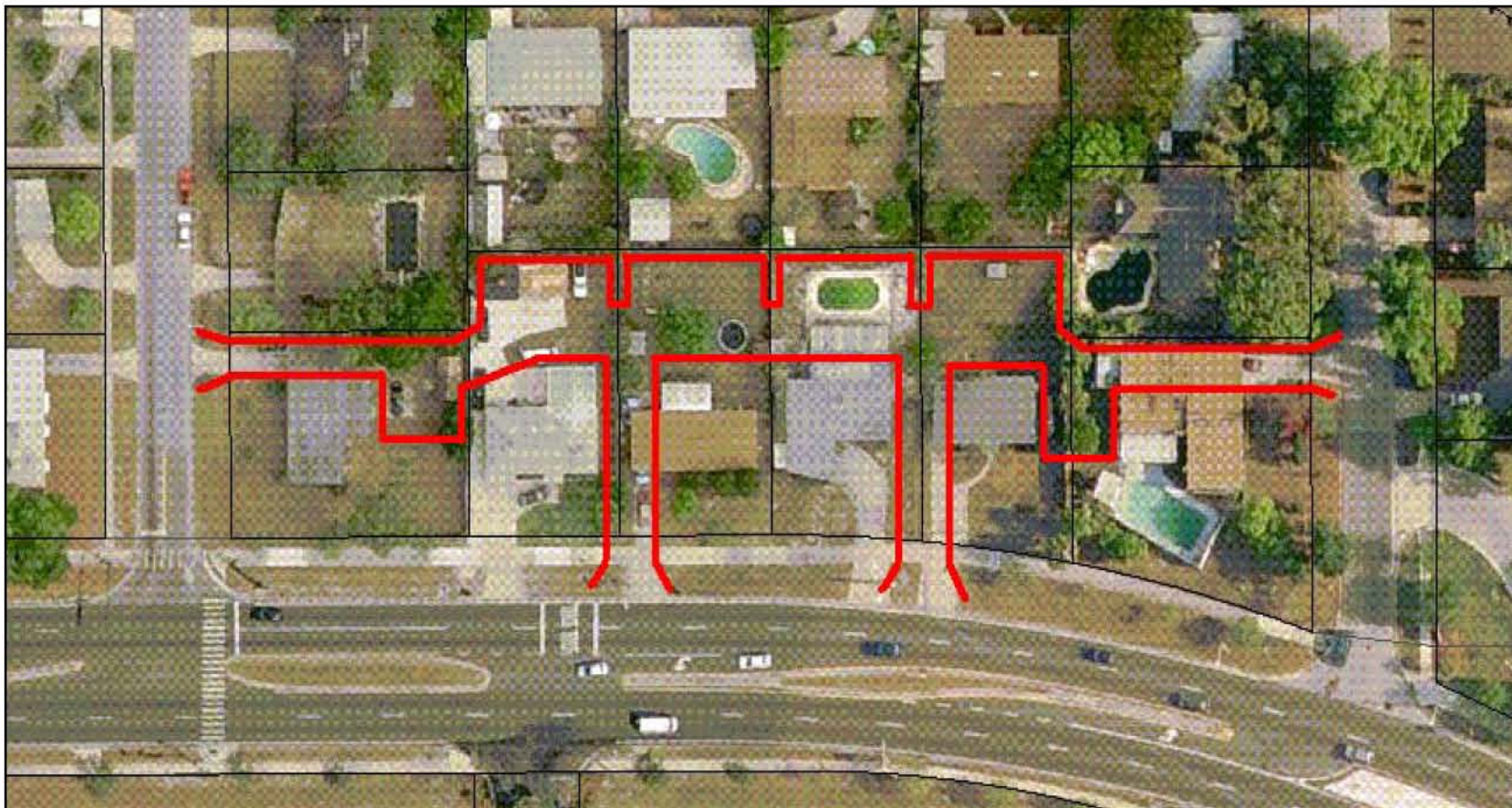
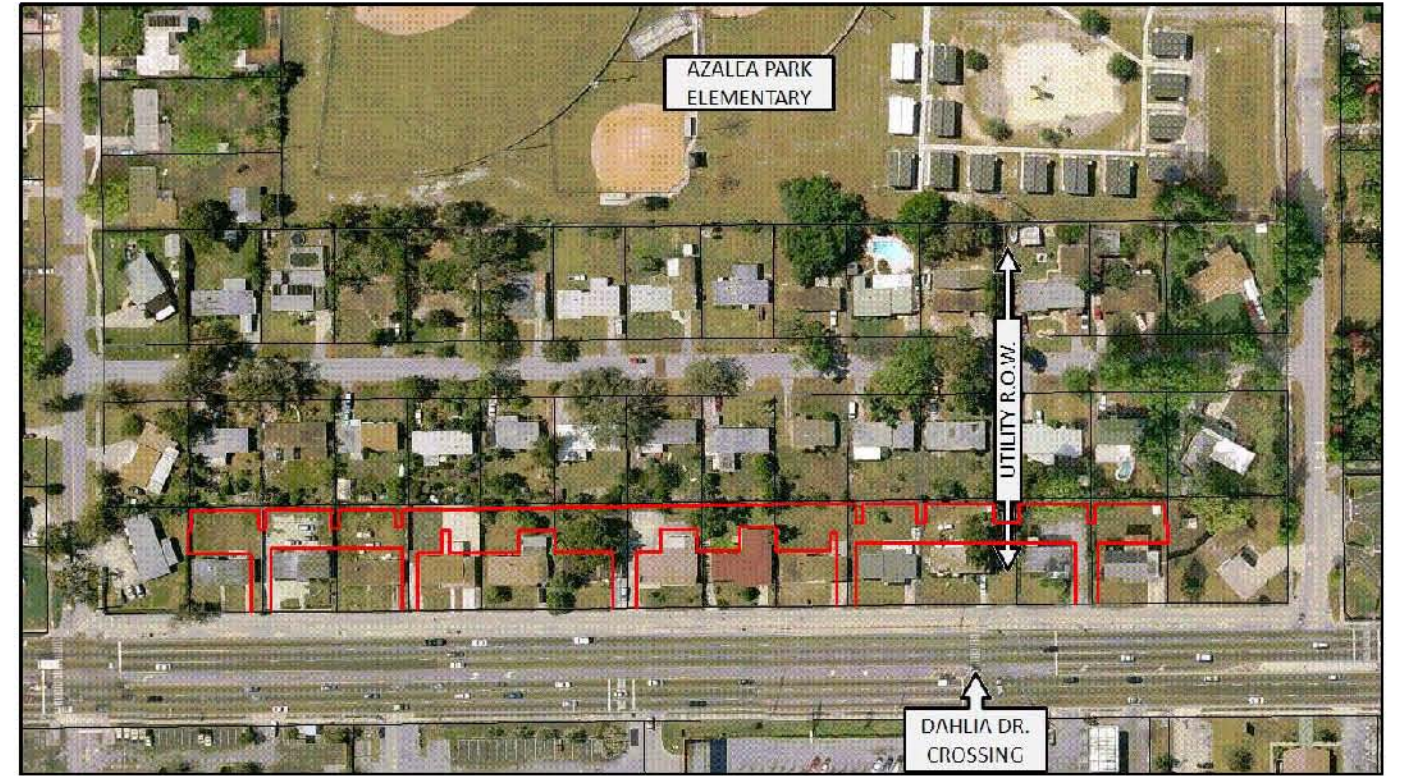
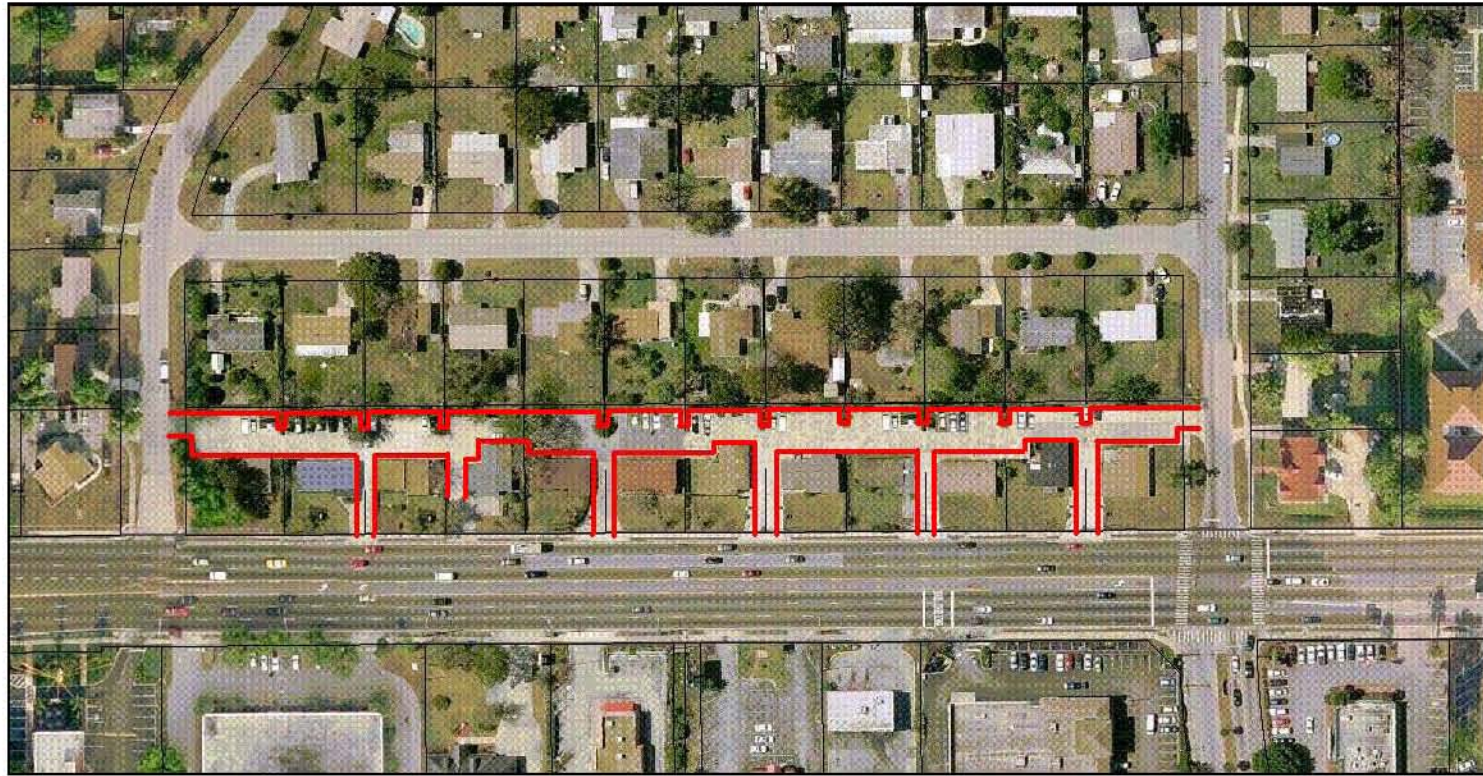


OPTION 3

- SPECIFICATIONS -**
- FABRICATE & INSTALL
 - S/F NON-ILLUMINATED F/C/O 1/8"
 - ALUM. WALL PANELS (EXACT AMOUNT T.B.D.)
 - FINISH PANELS - PANINTEG SMOOTH
 - FINISH SW #6393 CONVIVAL SATIN ENML.
 - COPY & BORDER - DURANODIC 230-69
 - VINYL APPLIED TO FACES AS SHOWN.
 - ADDRESS PANEL - DURANODIC 230-69
 - VINYL W/ ADDRESS NOS. SHO-THRU TO MATCH FAWN VINYL 220-99.



TYPICAL END VIEW



Unified Access and Circulation Diagrams

Upper Left:
Semoran Office District – South

Upper Right:
Semoran Office District – North

Lower Left:
Curry Ford Office District