

APPENDIX D

ATTACHED HOUSING

BUILDING PLACEMENT
ORIENTATION TO THE STREET
PLACEMENT OF MAIN ENTRANCES
BUILDING EXPRESSION
SECONDARY STRUCTURES
MIXING PROJECT TYPES
PARKING
CORNER CONDITIONS
TRASH, WASTE & RECYCLING CONTAINERS
SWIMMING POOLS
ATTACHED HOUSING (AH-1) EXAMPLE
ATTACHED HOUSING (AH-2) EXAMPLE
ATTACHED HOUSING (AH-3) EXAMPLE
ATTACHED HOUSING (AH-4) EXAMPLE

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Building Placement

Buildings should build out to the build-to line, parking will be internalized, avoiding surface parking between buildings and the street.

Orientation to the Street

Front doors and windows to major rooms will address the street. Walkways which lead to the front door, separate from the driveway, are also encouraged. The front door should be a prominent and welcoming feature on the front facade of the house. Building designs that create blank wall conditions facing the street or orient front doors so that they are not visible from the street will not be allowed.

Placement of Main Entrances

Main building entrances or individual unit entrances will be visible from the street, well lit and easily accessible.

Building Expression

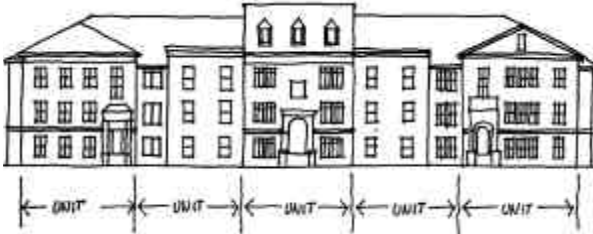
Large buildings will be expressed as individual units. Roof forms and facades shall accentuate smaller unit massing. Buildings are encouraged to have consistent window expressions. A "punched" window expression is encouraged.

Secondary Structures

Porches may be located within the buildable area in the front or rear of the primary structure. Decks and garages may be located within the buildable area in the rear of the primary structure.



Multi-family housing shall address the street with parking behind



Larger multi-family buildings with individual unit expression

Mixing Project Types

Combining a variety of attached housing types creates diversity on a residential block. Smaller parcels will integrate with larger parcels within a neighborhood.

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Parking

Parking shall be provided by an enclosed garage, or screened parking area, accessed from a rear alley. Garages are setback a minimum of 3 feet from the rear property line. At least 15' shall exist between a parking lot and a principal facade of a building.

Corner Conditions

Facades of the primary building shall be located along both the front and side setback lines, and within the specified buildable area.

Trash, Waste & Recycling Containers

Trash and waste containers shall be located within the garage and/or an area in the rear yard screened from the public view.

Swimming Pools

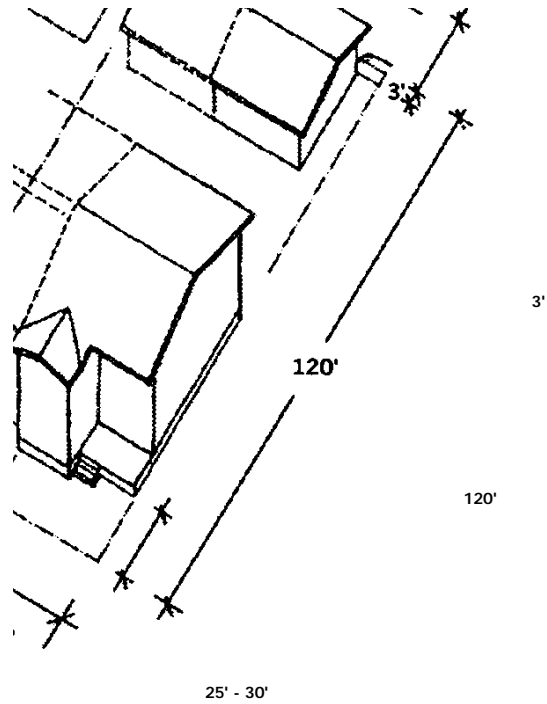
Pools can be located in the designated buildable area provided that they are no closer than 8 feet to any property line. Pool houses must be located within the buildable area.

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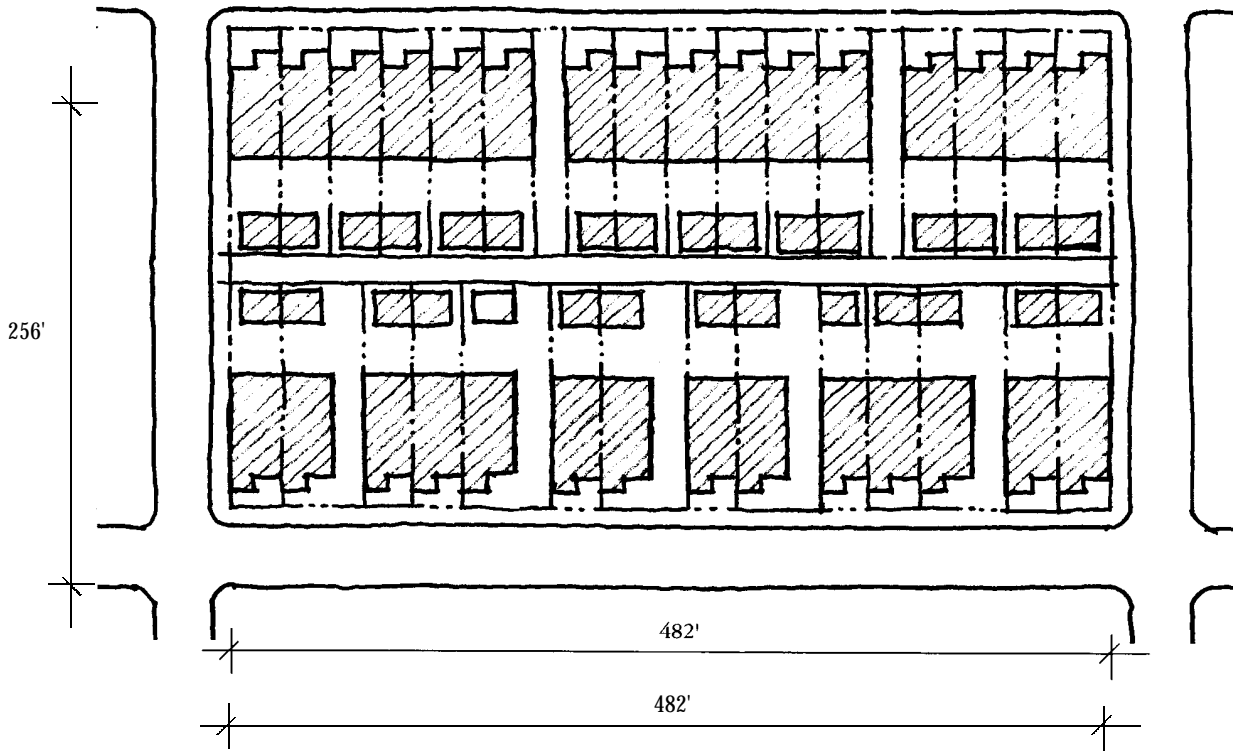
Attached Housing (AH-1) Example 8-12 units/acre

- Attached Housing,
Townhouse, Two-Family, Duplex
- See development standards sections for setback
requirements and height limitations



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Attached Housing (AH-1) Example

LOT SIZE
TOTAL LOT COVERAGE

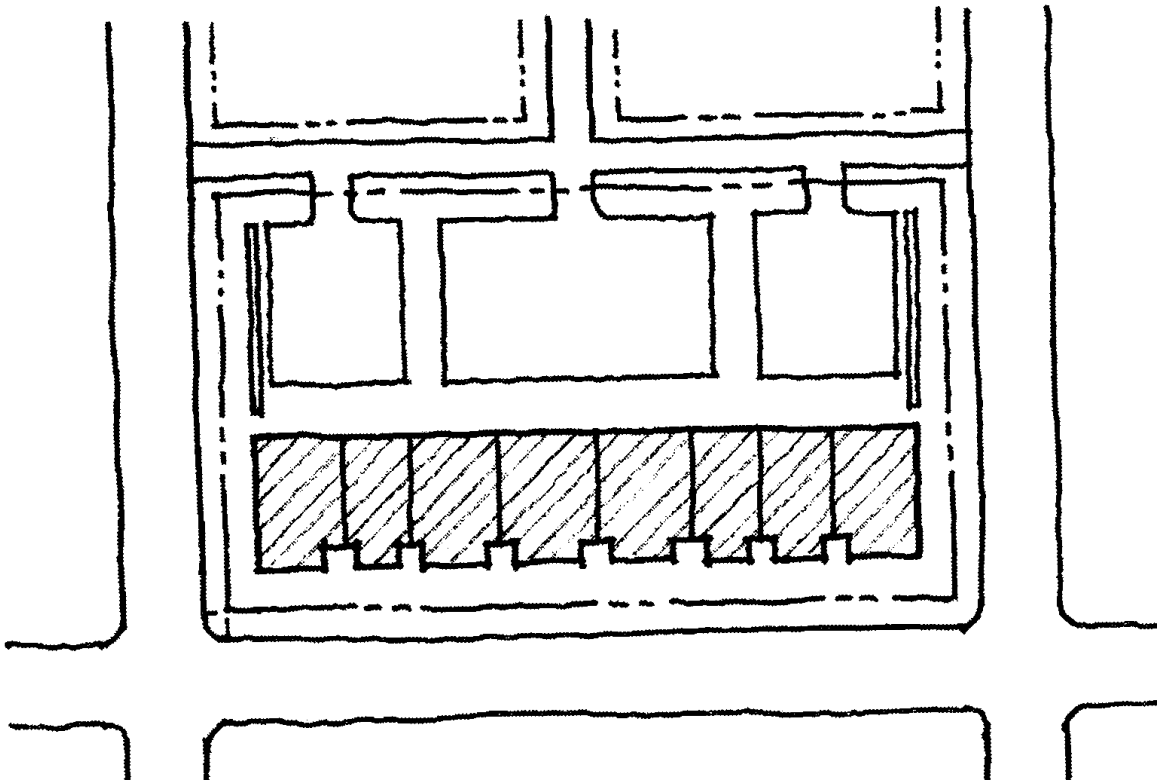
25'-30' X 120'

UNIT DISTRIBUTION
UNIT TYPE

8-12 UNITS/ACRE
TOWNHOUSE
TWO-FAMILY
DUPLEX

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Attached Housing (AH-2) Example

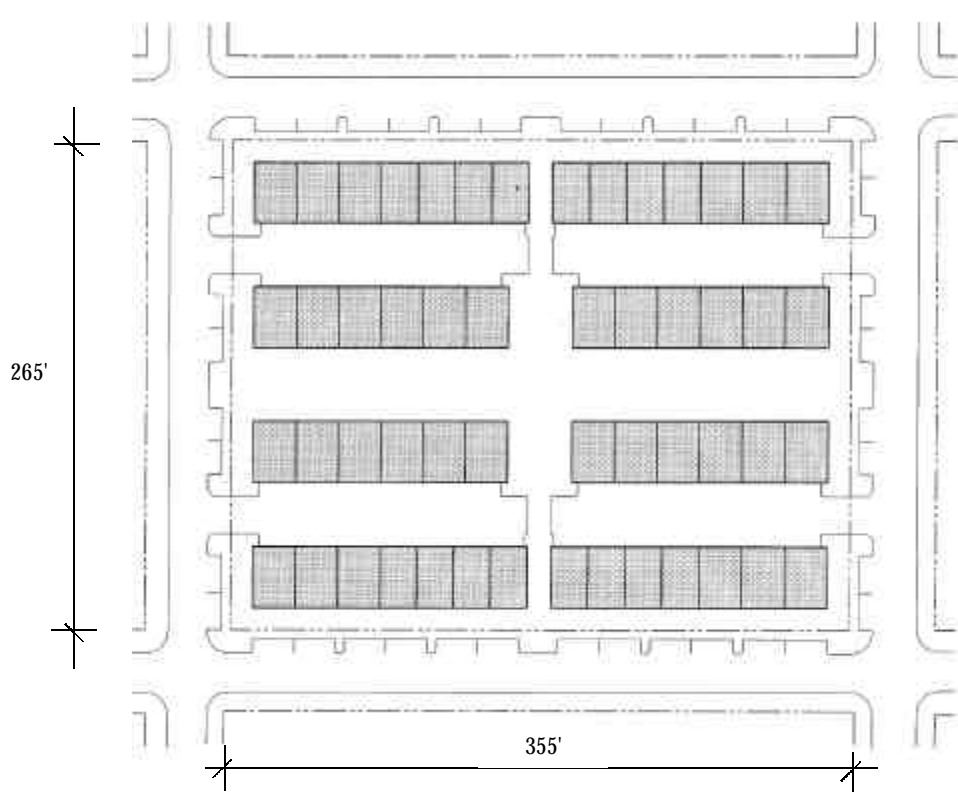
LOT SIZE
TOTAL LOT COVERAGE

UNIT DISTRIBUTION
UNIT TYPE
(TERRACED HOUSING)

16-18 UNITS/ACRE
MULTI-FAMILY
STACKED FLATS)

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Attached Housing (AH-3) Example

LOT SIZE
TOTAL BLOCK COVERAGE

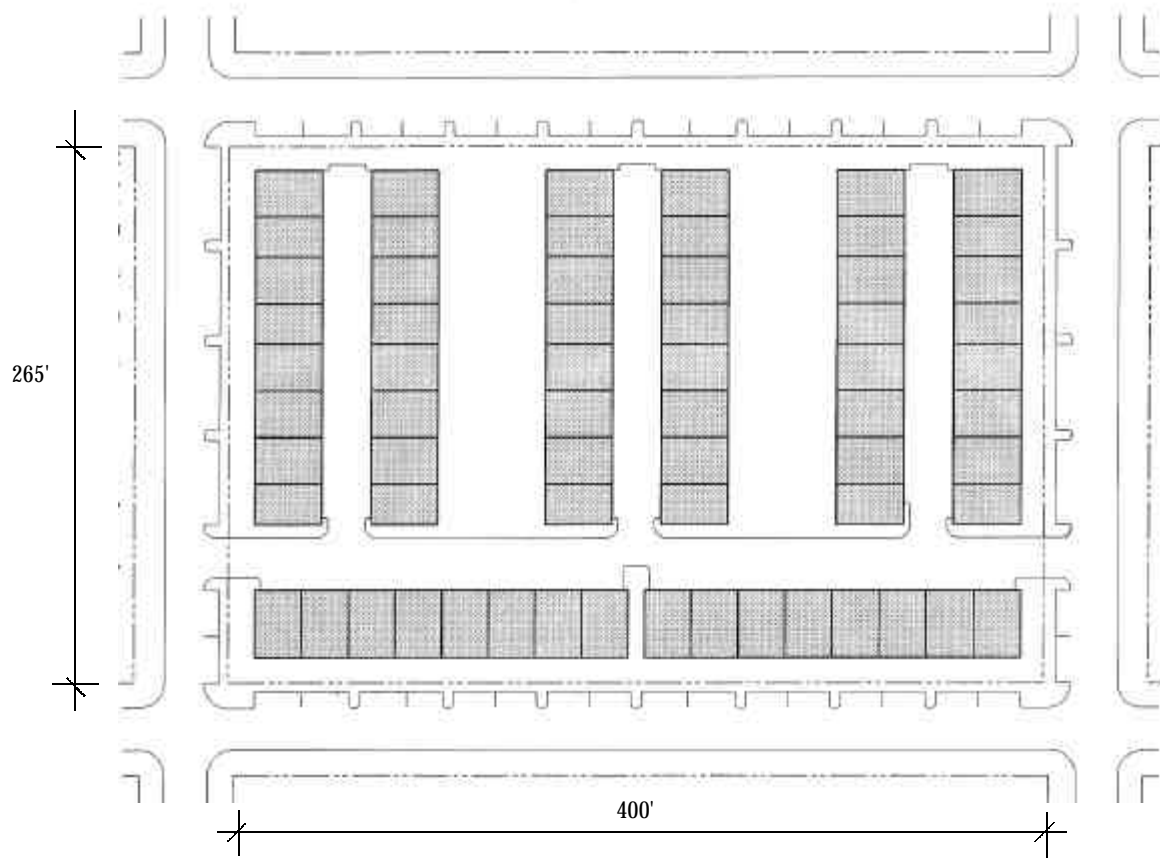
265' X 355'
60-65%

UNIT DISTRIBUTION
UNIT TYPE

52 UNITS TOTAL
24 UNITS/ACRE
TOWNHOME W/
GARAGE 1ST LEVEL

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Attached Housing (AH-3) Example

LOT SIZE
TOTAL BLOCK COVERAGE

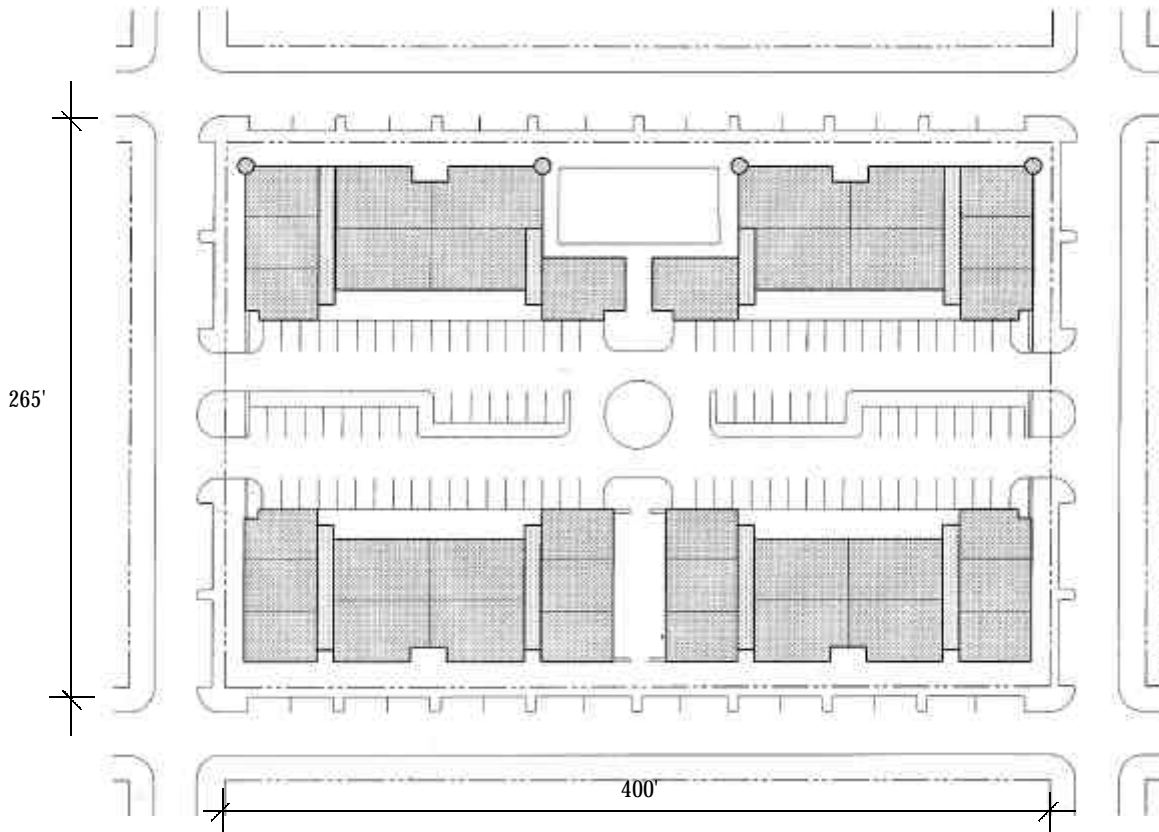
265' X 400'
60-65%

UNIT DISTRIBUTION
UNIT TYPE

64 UNITS TOTAL
26-27 UNITS/ACRE
TOWNHOUSES W/
GARAGE 1ST LEVEL

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Attached Housing (AH-3) Example

LOT SIZE
TOTAL LOT COVERAGE

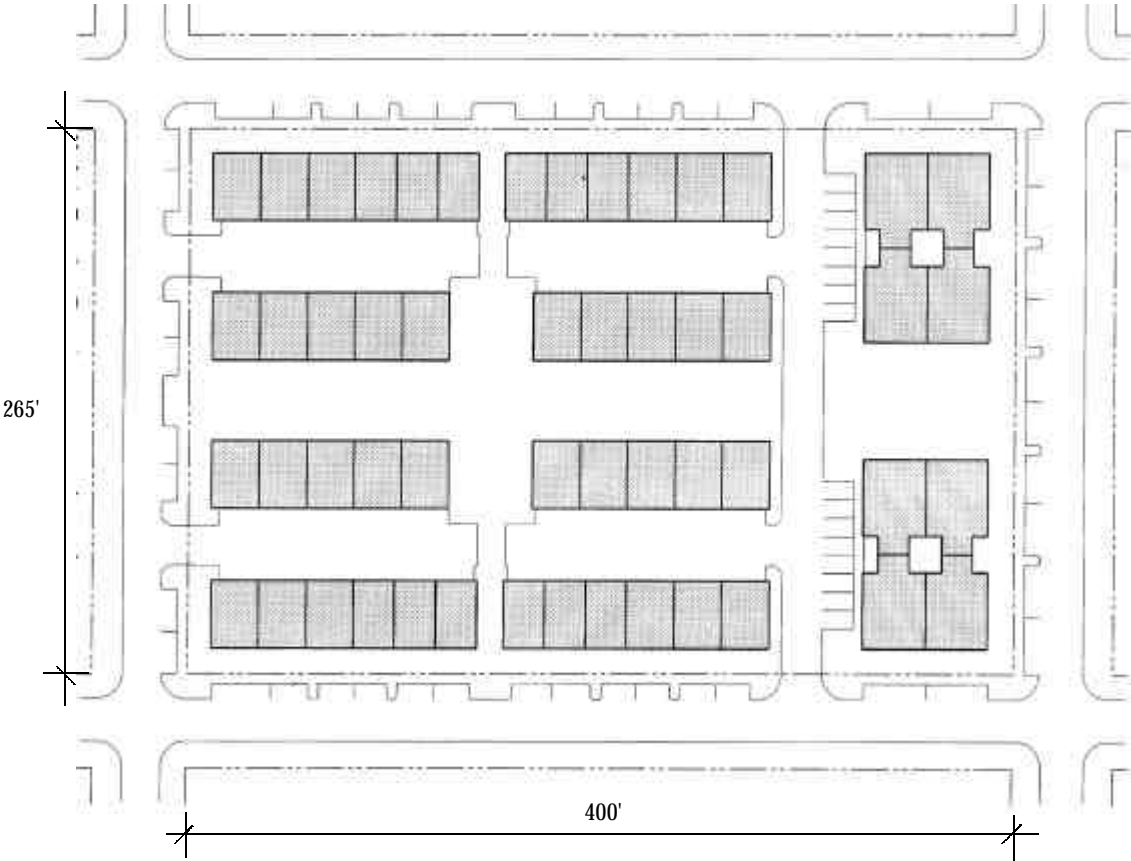
265' X 400'
70-75%

UNIT DISTRIBUTION
UNIT TYPE

72 UNITS TOTAL
29-30 UNITS/ACRE
MULTI-FAMILY
(GARDEN
APARTMENTS)

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Attached Housing (AH-3) Example

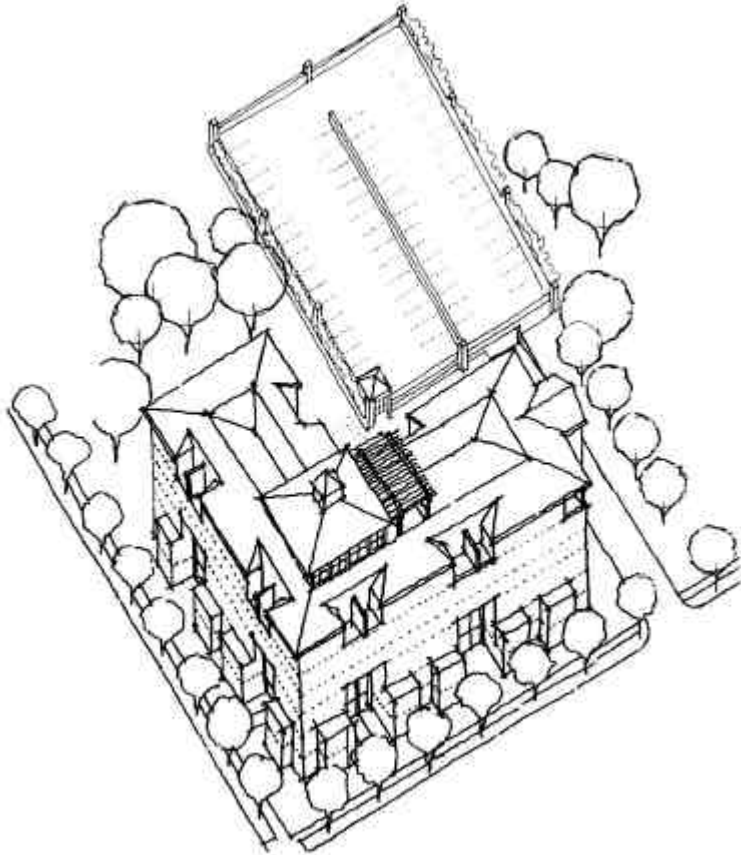
LOT SIZE TOTAL LOT COVERAGE	265' X 400' 60-70%	UNIT DISTRIBUTION UNIT TYPE	60 UNITS TOTAL 24-25 UNITS/ACRE TOWNHOUSES (44) MULTI-FAMILY (GARDEN APARTMENTS -16)
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**Attached Housing (AH-4) Example
50 units/acre**

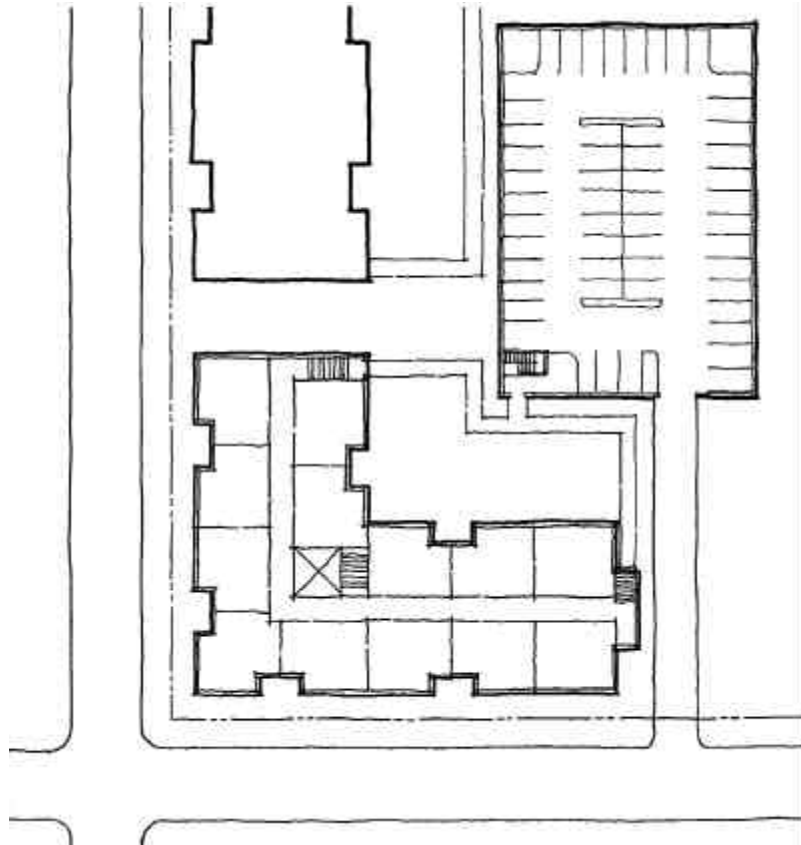
- Multi-Family (Mid-Rise Towers)
- 3 to 7 story building heights
- Parking in rear



Example of 6-7 story residential, mid-rise tower

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Attached Housing (AH-4) Example

LOT SIZE
TOTAL LOT COVERAGE
BUILDING SITE COVERAGE
IMPERVIOUS SURFACES

UNIT DISTRIBUTION
UNIT TYPE

50 UNITS/ACRE
MULTI-FAMILY
(MID-RISE TOWERS)

