

APPENDIX E

DETACHED HOUSING

BUILDING PLACEMENT
ORIENTATION TO THE STREET
DRIVEWAYS
GARAGE DOORS
ACCESSORY UNITS
TRASH, WASTE & RECYCLING CONTAINERS
SWIMMING POOLS
DETACHED HOUSING (DH-1) EXAMPLE
DETACHED HOUSING (DH-2) EXAMPLE
DETACHED HOUSING (DH-3) EXAMPLE

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Building Placement

Detached housing should build out to the build-to line to the greatest extent.

Orientation to the Street

Front doors and windows to major rooms will address the street. Front walkways will lead to the front door, separate from the driveway. The front door will be a prominent and welcoming feature on the front facade of the house. House designs that create blank wall conditions facing the street or orient front doors so that they are not visible from the street are not allowed.

To the greatest extent possible, front entrances should be articulated with a covered front entry porch. The size of front entry porches shall be a minimum of 6'-0" deep and 10'-0" in width.

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Driveways

Excessively wide driveways (over 10' in width at the curb) and circular driveways within the front yard setback shall not occur. Circular driveways create multiple curb cuts, increase the amount of asphalt in the front yard and encourage parking in front of the house.

Garage Doors

The single car garage door increment is required to reduce the overall scale of the garage and to shift focus away from the mass of the garage to feature the main entry of the house. Two and three-car garages must use multiple increments of the single garage door rather than a double-car garage door.



*Garages set behind the front facade
of a house*

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Accessory Units

Accessory units are encouraged over garages located at the rear of the property. Accessory units can either be a dwelling unit above a garage or an additional structure on a detached housing lot.

Home occupation use is permitted, providing the following conditions apply:

- In addition to the family occupying the dwelling containing the home office, there shall not be more than one outside employee in the home office.
- The employee and clients shall park in on-street curbside parking spaces and shall not park on the lot containing the home office.
- The home office shall not exceed 1,000 square feet or 30 percent of the total square footage of the dwelling or can be located in an accessory building not to exceed 500 square feet.
- All exterior aspects of the home office operation shall not disrupt and detract from the residential character of the area.

Location

Location is in accordance with proposed garage locations.

Roof Type

Roof types shall compliment the roof type of the principle building and may be hipped, gabled or flat with a parapet.



Trash, Waste & Recycling Containers

Trash and waste containers shall be located within the garage and/or an area in the rear yard screened from the street or alley.

Swimming Pools

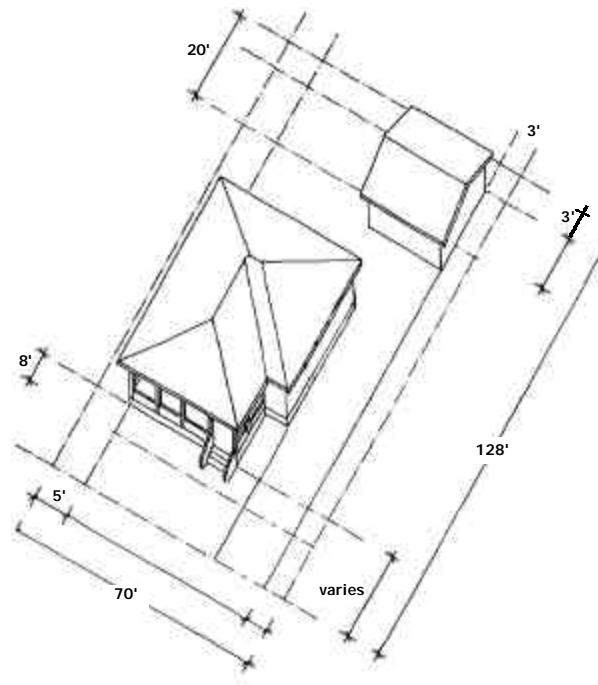
Pools can be located in the designated buildable area provided that they are no closer than 8 feet to any property line. Pool houses must be located within the buildable area.

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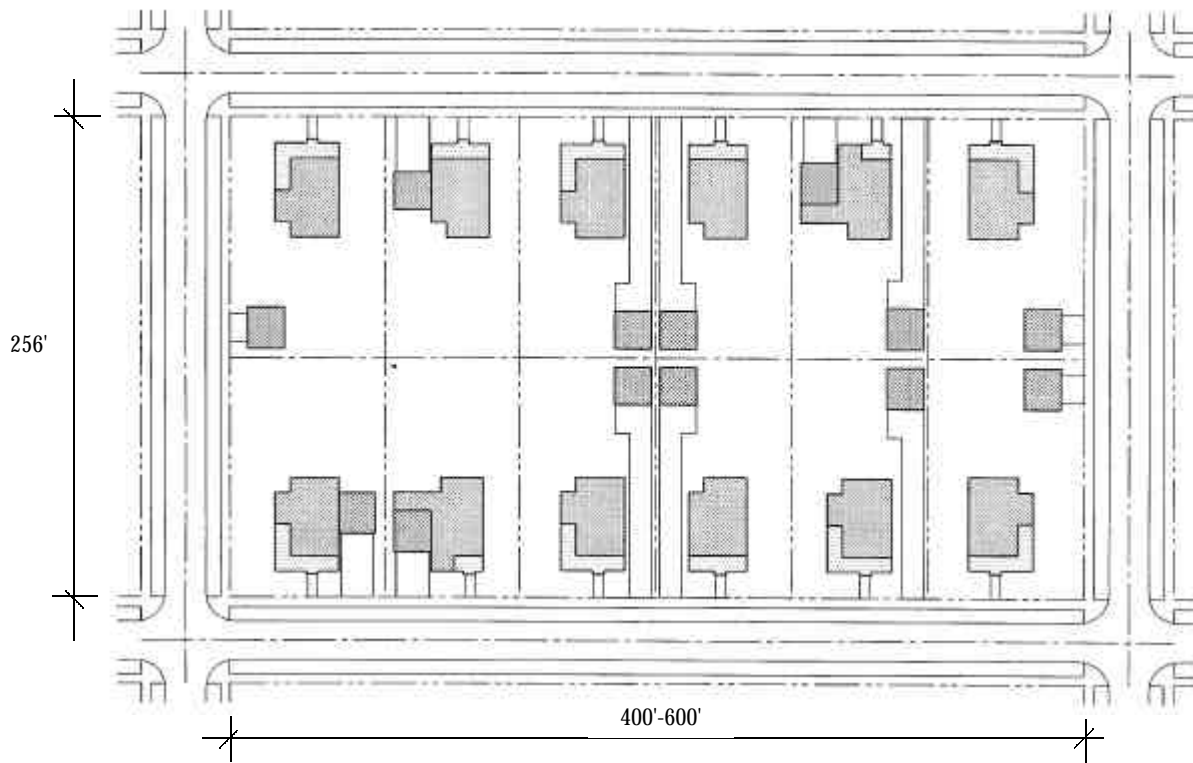
**Detached Housing (DH-1) Example
5-6 units/acre**

- 70' x 128' lot
- See development standards sections for setback requirements and height limitations.
- 20' rear setback for main structure
- 3' rear setback for accessory
- 8' permitted front encroachment (porches)
- 5' side setback for house, 3' for secondary structures



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Detached Housing (DH-1) Example

LOT SIZE
TOTAL LOT COVERAGE

70' X 128'
30%-40%

UNIT DISTRIBUTION

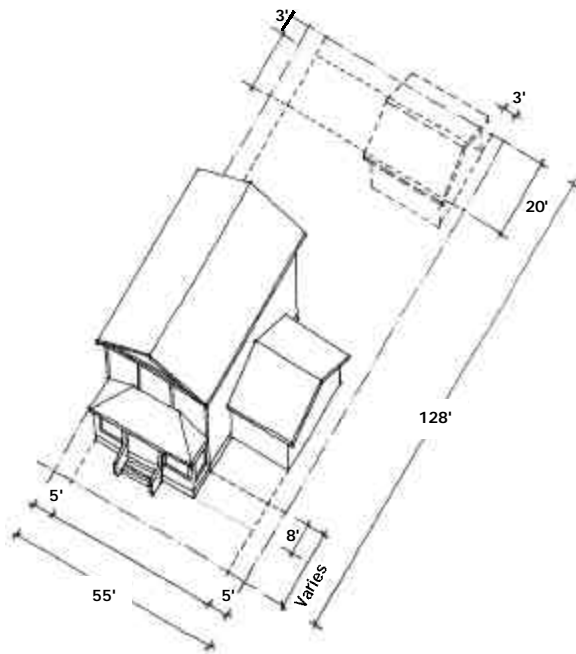
5-6 UNITS/ACRE
12 UNITS
W/GARAGE

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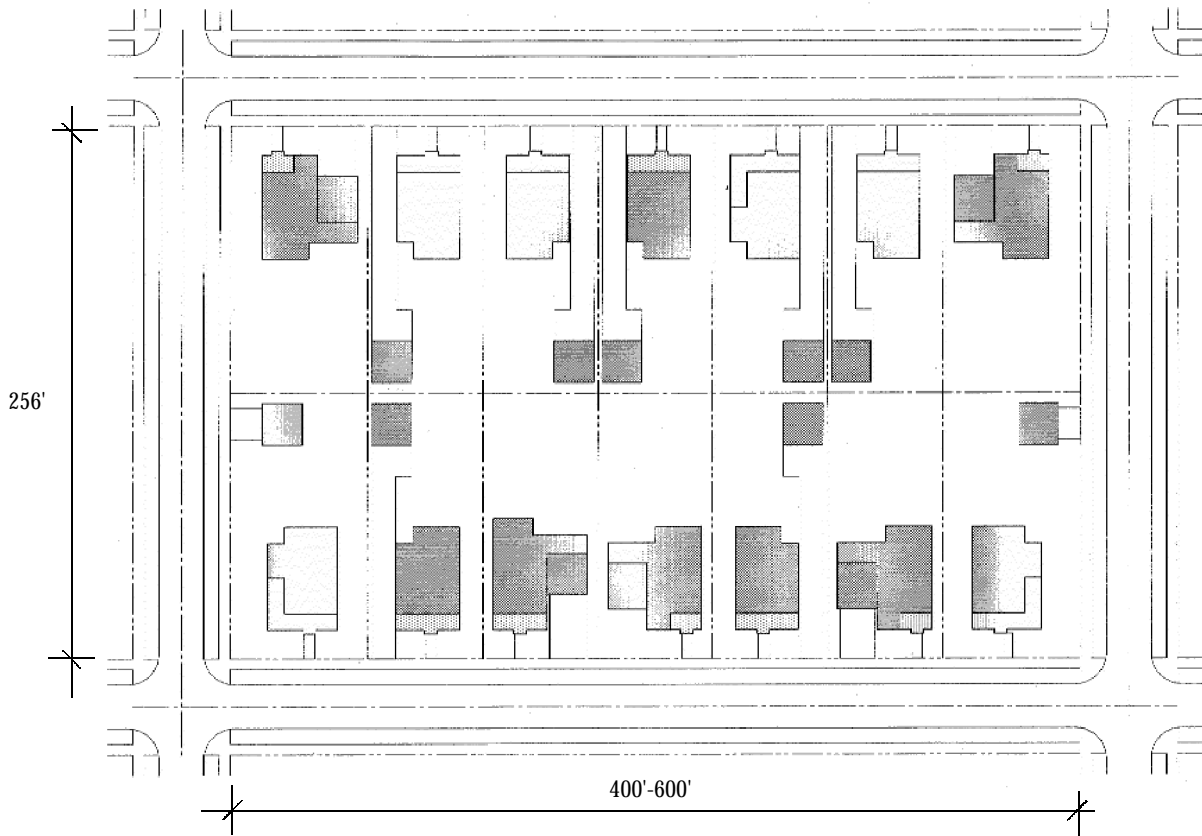
**Detached Housing (DH-2) Example
6-7 units/acre**

- 55' x 128' lot
- See Neighborhood General descriptions for setback requirements and height limitations.
- 20' rear setback for main structure
- 3' rear setback for accessory
- 8' permitted front encroachment (porches)
- 5' side setback for house, 3' for secondary structures



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Detached Housing (DH-2) Example

LOT SIZE
TOTAL LOT COVERAGE

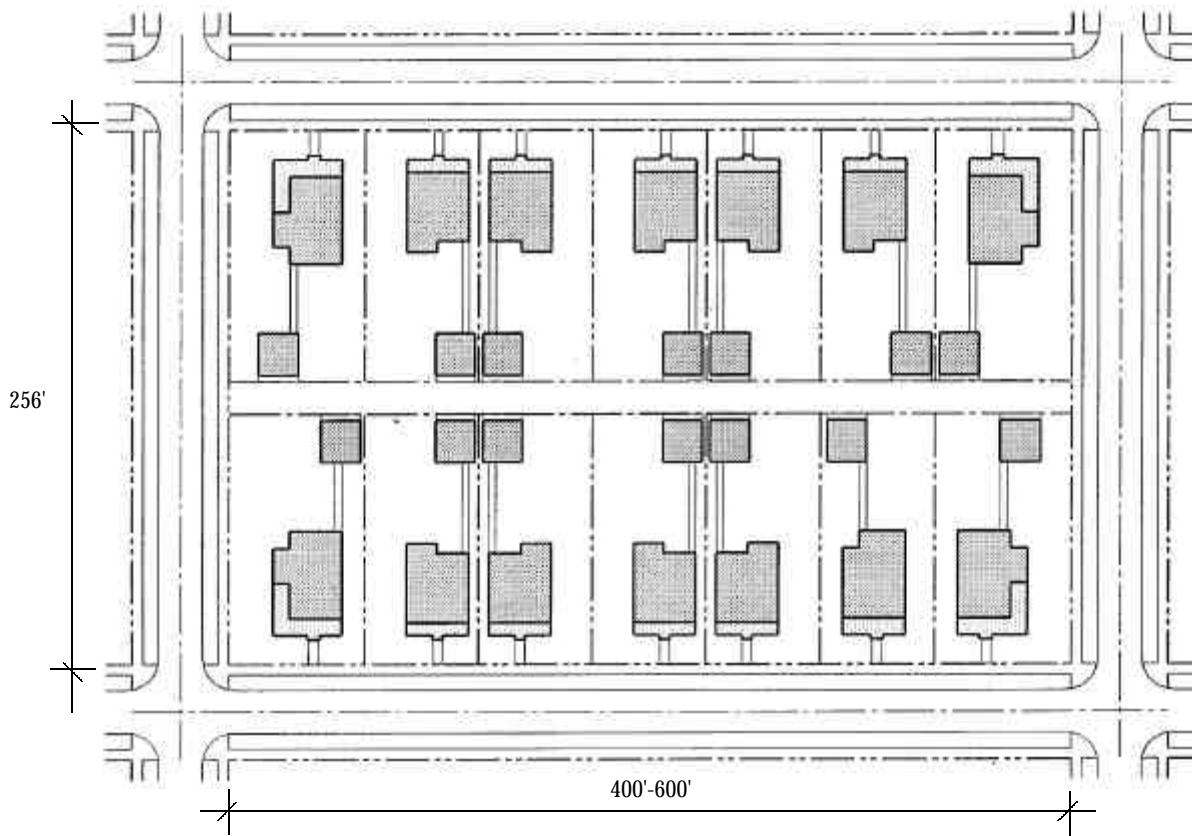
55' X 120'
35%- 40%

UNIT DISTRIBUTION

6-7 UNITS/ACRE
14 UNITS
W/GARAGE

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**Detached Housing (DH-2) Example
with alley**

LOT SIZE
TOTAL LOT COVERAGE

55' X 120'
35%- 40%

UNIT DISTRIBUTION

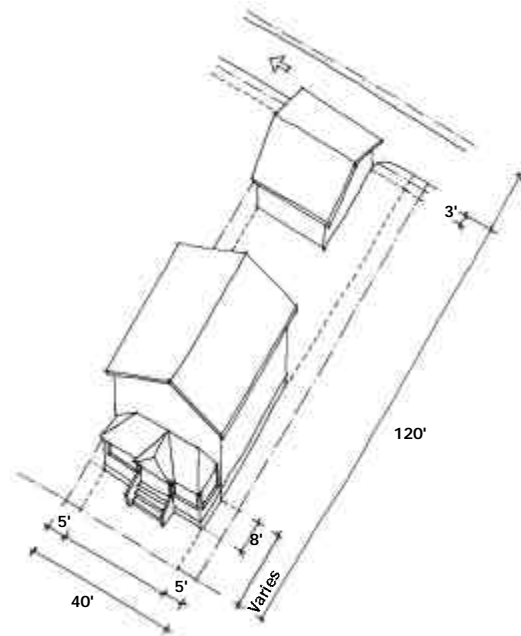
6-7 UNITS/ACRE
14 UNITS
W/GARAGE

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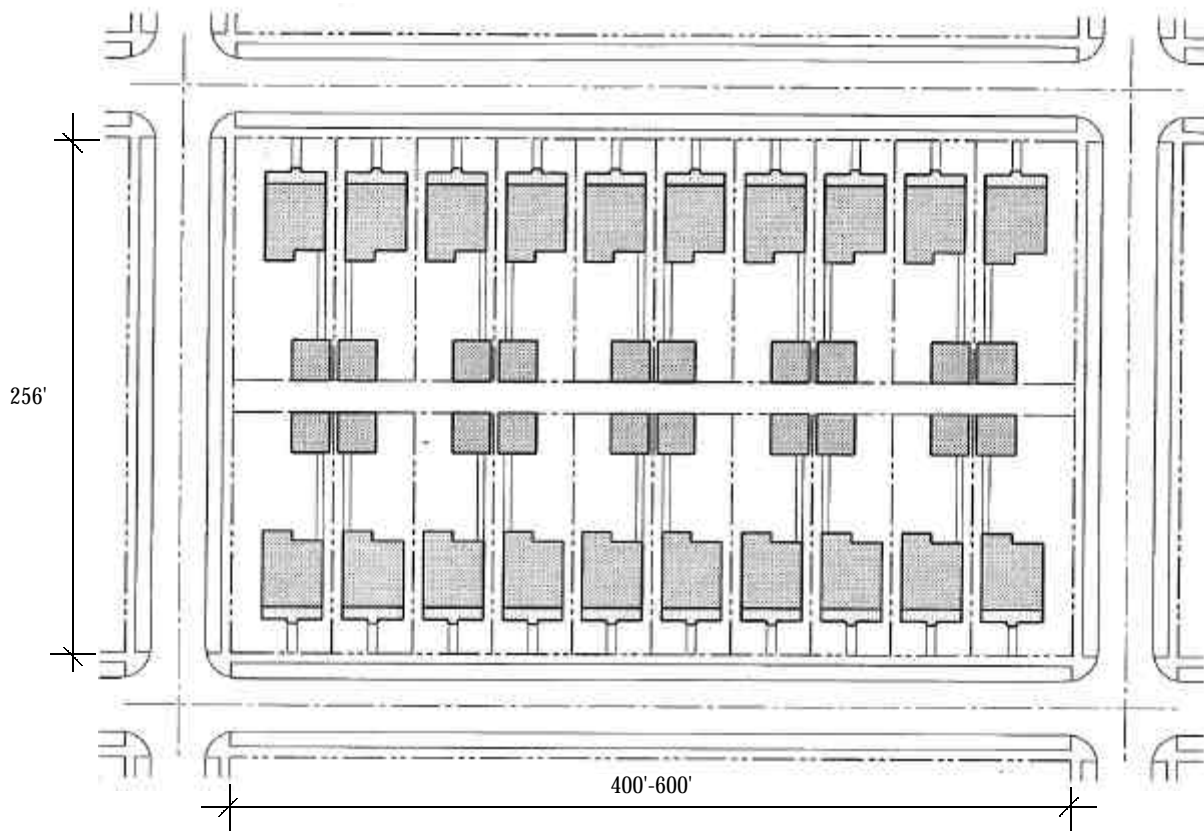
Detached Housing (DH-3) Example 8-9 units/acre

- 40' x 120' lot with alley
- See development standards sections for setback requirements and height limitations.
- 8' permitted encroachment
- 5' side-yard setbacks
- 3' setback from alley



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Detached Housing (DH-3) Example

LOT SIZE
TOTAL LOT COVERAGE

40' X 120'
40%- 45%

UNIT DISTRIBUTION

8-9 UNITS/ACRE
20 UNITS
W/GARAGE

